

East Burnside Community Service Center LLC
6809 SE Ash Street
Portland, Oregon 97215

Oregon Public Utility Commission
Attn: Filing Center
Main Hearing Room
550 Capital Street NE
Salem, Oregon 97308

May 4, 2016

**Re: Motion and Request for Extension of Time for Good Cause
Pursuant to OAR 860-084-0210(1)
East Burnside Community Service Center - 3141 E Burnside St.
Account # 0020 71396-942826 5
Feed-in-Tariff Program - 9.975 kilowatt photovoltaic system
Approved July 31, 2015**

Dear Ladies and Gentleman:

I am writing to request an extension of time to install the solar system and meet the Feed In Tariff program requirements for new construction at 3141 E Burnside in Portland, Oregon. The East Burnside Community Service Center LLC applied for and was accepted last year into this program. We paid the \$500 deposit in May of 2015, were approved on July 31, 2015 and currently have until May 15, 2016 to install the system.

As we outline in detail below, we have been actively pursuing the project and engaged with the architects, engineers, contractors and City permitting officials to construct the building and install the system. We have submitted all the necessary information to satisfy City requirements, and anticipate obtaining permits and beginning excavation within the next couple weeks.

We solicited bids for the project over 10 months ago, and have engaged a general contractor and the necessary subcontractors to immediately commence construction when the City issues our permit. We anticipate completing the building by January-February of 2017. We have discussed the need for an extension with Cindy Dolezel, OPUC Senior Renewable Energy Analyst, and she encouraged us to seek the maximum possible extension of time to complete and activate the system – which we understand is the end of March 2017.

We have discussed the timeline for the construction of the building with our general contractor, and we have a contract with our general providing that time is of the essence. The construction contract specifically calls out the need for substantial

completion of the project by January 2017 so that we can go live with the solar system. We ask to be given to the end of March 2017 to give us a bit of extra breathing room and so that we can be sure to satisfy the requirements of the Feed-In-Tariff program. For the reasons set forth herein, under OAR 860-084-0210(1) we request a waiver of the deadline and a granting of an extension until March 31, 2017 to install the system and meet the requirements.

Detailed Good Cause and Reasons for Extension Request.

Green Building. We have worked closely with Senior Associate Randall Heeb, AIA LEED AP BD+C and Architect & Designer Nate Wood of Opsis Architecture and Buddy Brocker, the General Contractor, and with knowledgeable subcontractors to design a very energy-efficient building that uses the sun's energy, manages its own storm-water on site, and recycles rain and grey water for re-use in bathroom facilities. The building will employ radiant heated floors, an energy recovery ventilator, energy efficient windows, and whole house night flushing to control indoor air quality and temperatures. See **Exhibit 1** – Building Permit Set (Excerpts showing energy efficiency, solar panel, overflow bed, rainwater catchment). We have spent considerable time researching and planning a building that is value engineered yet highly energy efficient.

Public Interest Occupancy. The building is being constructed to serve a public interest. The building is being built to house local non-profit conservation groups. The lead tenant has been identified and it is a local non-profit that provides legal aid to environmental conservation groups. The organization has been working in the Pacific Northwest and in Portland for 15 years. Five major donors have contributed the funds necessary to construct the building. Once the zoning changes, the building will have a total of 9 offices, and additional space will be made available to other non-profit environmental conservation organizations.

Pro Bono Project. The primary architect on the project, Nate Wood, AIA AP BD+C took this project under the watchful eye of Randall Heeb. Mr. Wood and Heeb performed an analysis of light office code requirements and took the lead in assisting Jerome Madden, the engineer, in meeting all City requirements for the intended end use. For the rezone, we had to obtain the support of the neighbors and the neighborhood association. See **Exhibit 2** (Letter from Kerns NA attached).

Permitting. The City of Portland is quite busy these days with permit applications. We first inquired about approving the project as a conditional use – as a community service center. The City planners advised us to pursue the rezone, and apply to construct the building as a residence in anticipation of this change. We have heeded this advice, and then worked to prepare our plans in 2015. We engaged an engineer and applied for permits in February. We anticipate obtaining our permit very soon. On April 29th, we provided the final response to the City See **Exhibit 3** (Status Check – attached). The zoning review took a number of months, and the City permit review has taken over two months.

City Wide Rezone. The property is currently zoned residential and will be converted to light office when the zoning on the property changes from residential to neighborhood commercial as part of the city-wide plan update and rezone. The property is on the map and proposed to be rezoned to neighborhood commercial as part of the comprehensive plan update and rezone. See **Exhibit 4** - Notice from City regarding rezone. The Kerns Neighborhood Association supported the rezone with a letter and the rezone is officially expected to be completed in the middle to end of 2017 or early 2018. The modest sized building will fit nicely into the neighborhood.

Ready to Execute on the Permit. East Burnside Community Service Center LCC has the necessary financing and has retained an experienced general contractor to perform the work. See **Exhibit 5** - Letter from Brocker Construction. We have selected all of the necessary subcontractors to proceed with the project in a timely fashion. We have secured all the funds and commitments necessary to complete the project from the five donors who are investing in the project. We hope to break ground on or soon after the 16th of May and proceed with due haste to completion of the project.

For these reasons we ask for this extension. We expect to substantially complete the project and meet your requirements by the end of January 2016. To give us a bit of breathing room, we feel it is prudent to ask to complete the necessary requirements by the maximum time you can provide under the program, which we understand to be 30th of March 2017.

Please let me know if you have any questions. Thank you for kind attention to this request and we look forward to hearing from you.

Sincerely,

A handwritten signature in black ink that reads "Ralph Bloemers". The signature is written in a cursive, flowing style.

Ralph O. Bloemers
Manager
East Burnside Community
Service Center LLC
Tel. 503.504.2432



3141 E. BURNSIDE

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22300 (LOT 9, BLOCK 21, HAWTHORNE'S 1ST ADD.) S.W. 1/4 SECTION 36, T.1N., R.1E, W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

REVISIONS

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date: **2/22/2016**

sheet title:

COVER SHEET

sheet number:

A0

PERMIT SET

ENERGY CODE COMPLIANCE

PRESCRIPTIVE ENERGY PATH

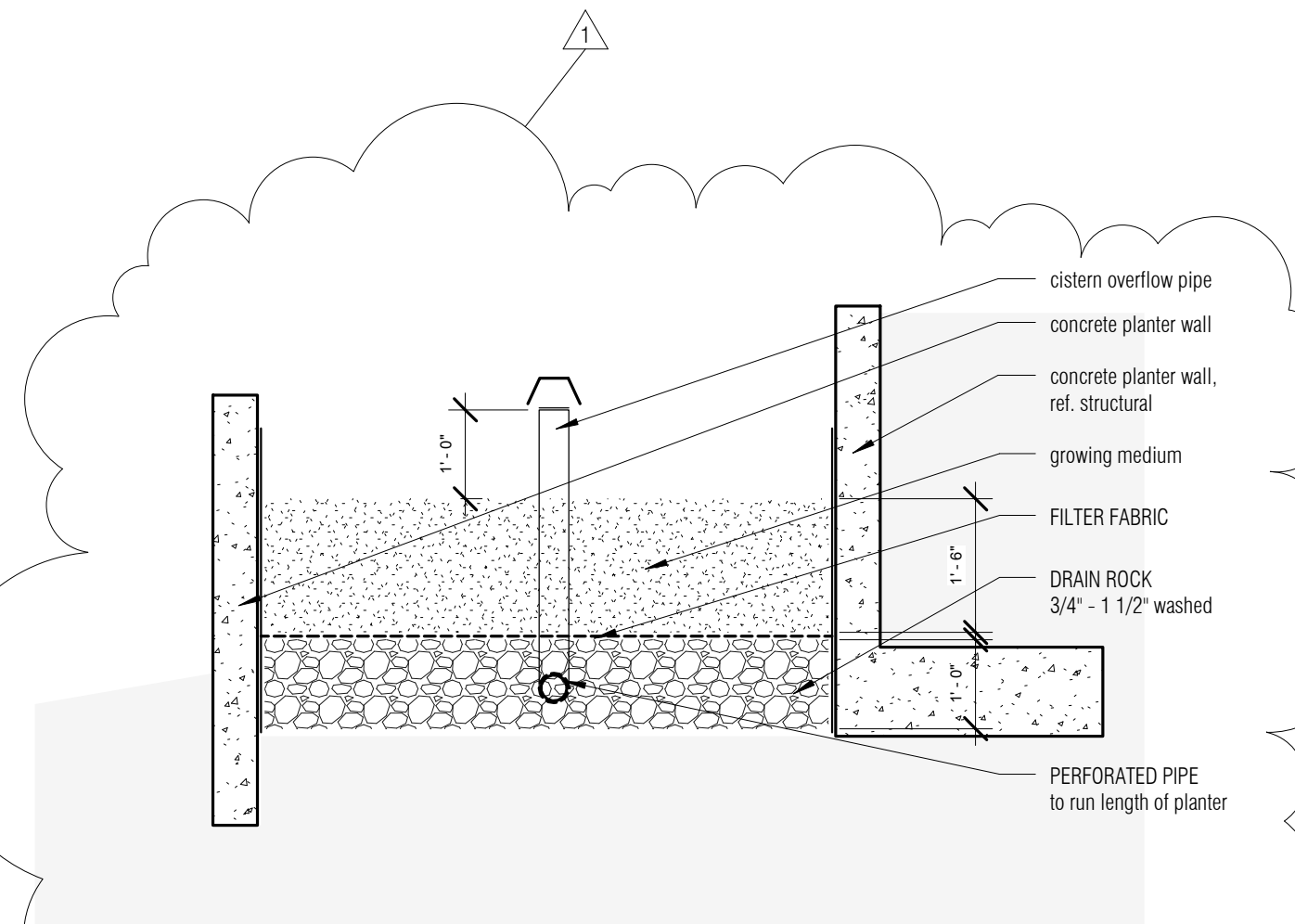
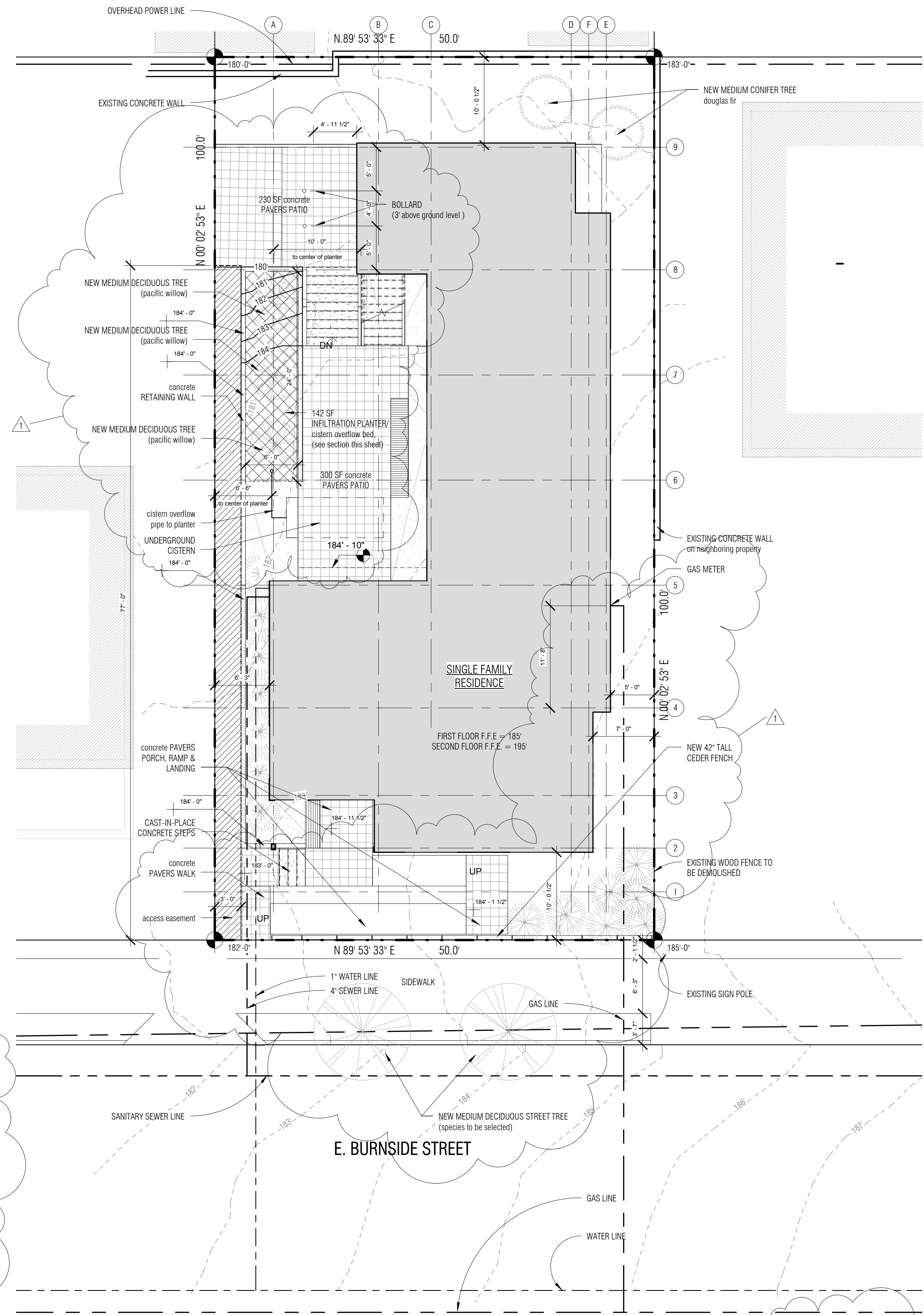
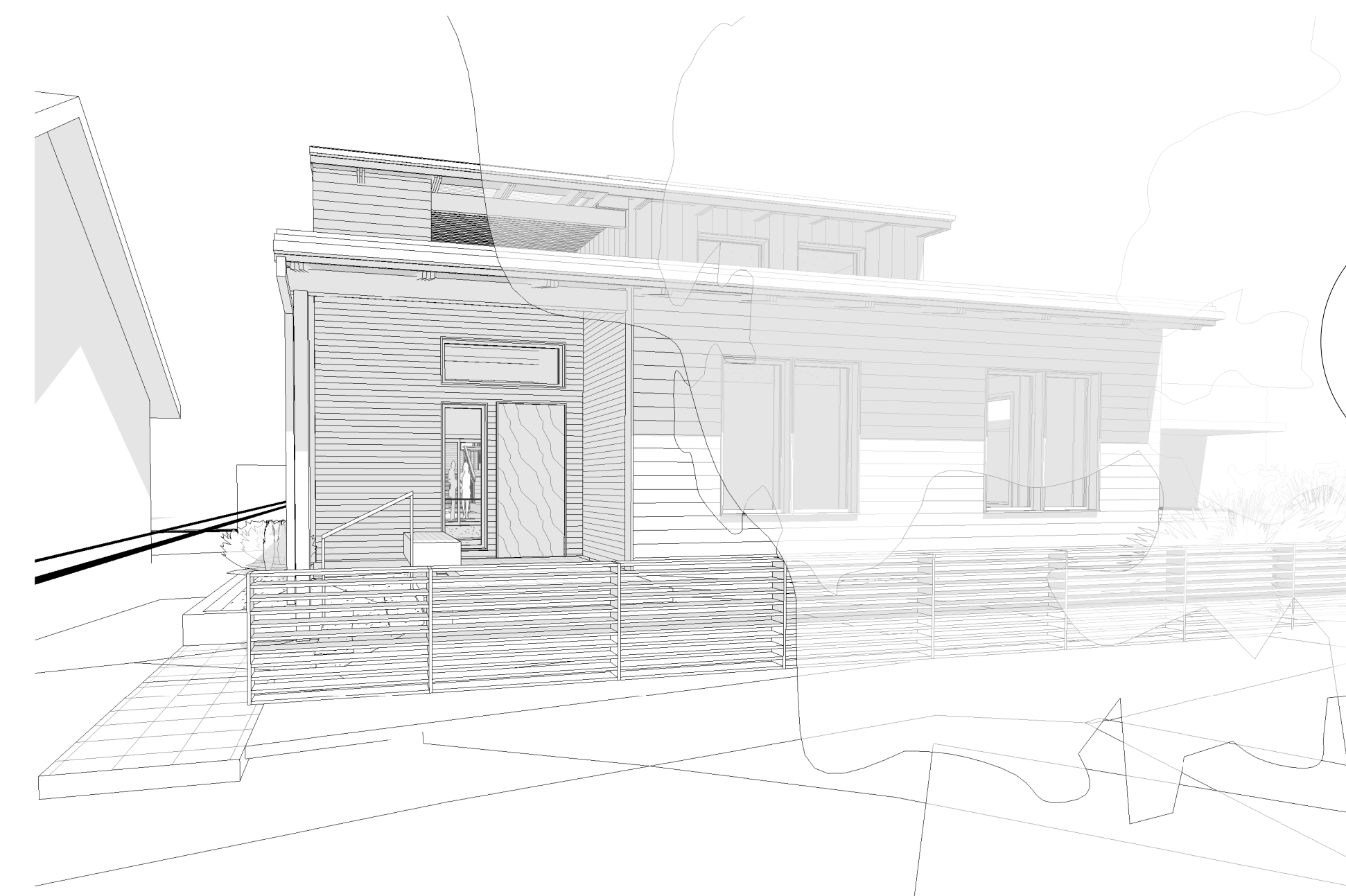
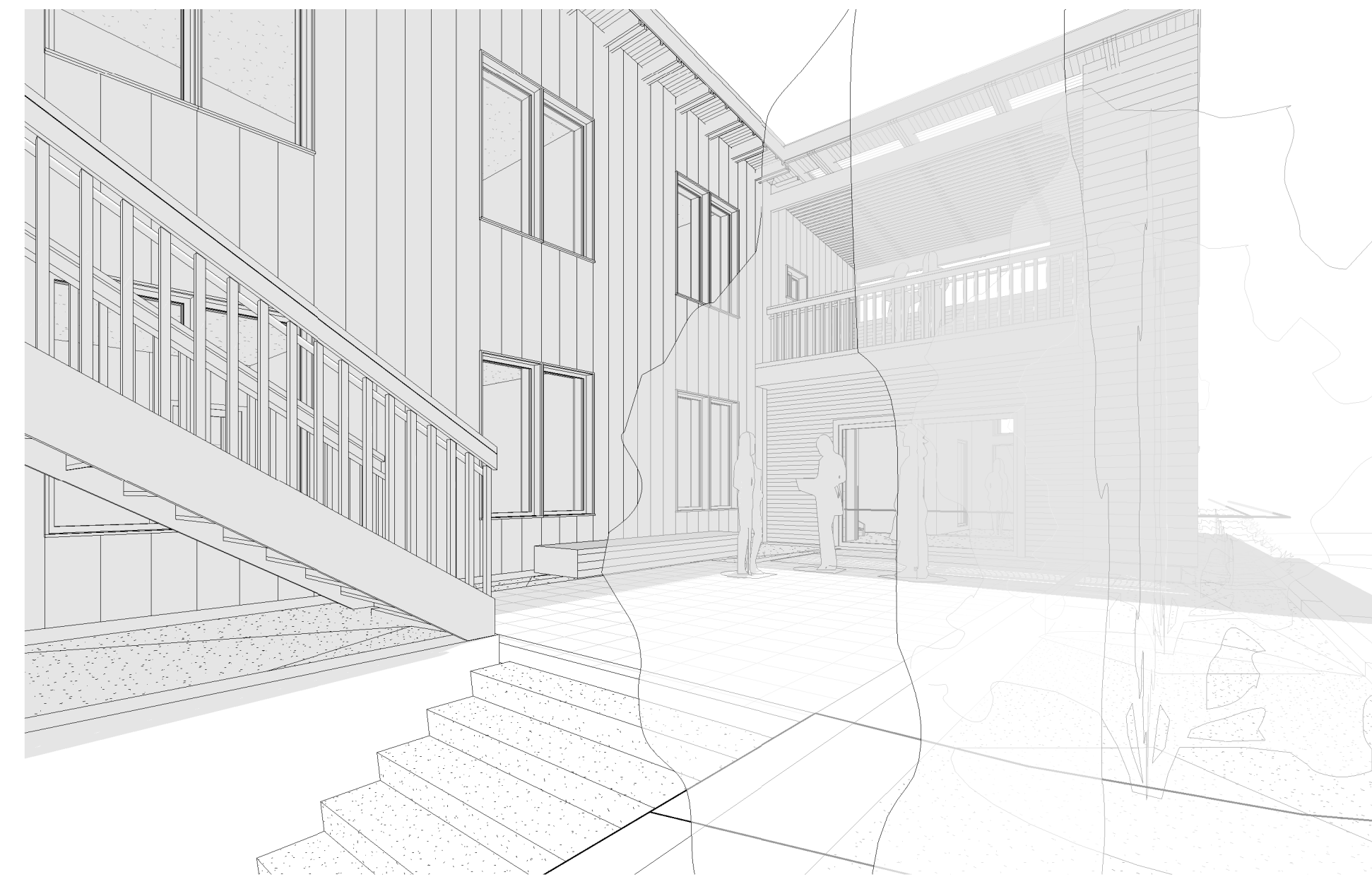
**TABLE N1104.1(1)
RESIDENTIAL THERMAL PERFORMANCE CALCULATIONS**

BUILDING COMPONENTS ^b	STANDARD BASE CASE ^a				PROPOSED ALTERNATIVE		
	Areas ^c	U-factor	Areas x U	R-value ^d	Areas ^e	U-factor ^g	Areas x U
Flat ceilings	1380 sf	0.031	42.78	R38	1380 sf	U0.031	42.78
Vaulted ceilings ^f	518 sf	0.042	21.76	R38	518 sf	U0.027	13.986
Conventional wood-framed walls	3,769 sf	0.060	226.14	R31	3,769 sf	U0.032	120.61
Underfloor	378 sf	0.028	10.58	R38	378 sf	U0.026	9.828
Slab edge	204'	(perimeter ft =) F=0.52 ^g	106.08	F = 0.52	204'		106.08
Windows	716 sf	0.35	250.6		716 sf	U0.27	193.32
Skylights < 2% ^h		0.75				N/A	
Skylights > 2% ^h		0.60				N/A	
Exterior doors ⁱ	24 sf	0.20	4.8	R38	24 sf	U0.35	8.4
Doors with > 2.5 ft ² glazing	101 sf	0.40	40.4	R38	101 sf	U0.28	28.28
			CODE UA = 703.14				Proposed UA ^j = 523.28

- a. Base path 1 represents Standard Base Case from Table N1101.1(1).
- b. Performance trade-offs are limited to those listed in column 1. Heat plant efficiency, duct insulation levels, passive and active solar heating, air infiltration and similar measures including those not regulated by code may not be considered in this method of calculation.
- c. Areas from plan take-offs. All areas must be the same for both Standard Base Case and Proposed Alternate. The vaulted ceiling surface area for Standard Base Case must be the actual surface area from the plan take-off not to exceed 50 percent of the total heated space floor area. Any areas in excess of 50 percent for Base Case must be entered at U-0.031 (R-38) with "Flat Ceilings" area.
- d. Minimum Component Requirements in so far as practicable: Walls R-15/U-0.080; Floors R-21/R-0.047; Flat Ceilings R-38/U-0.031; Vaults R-21/R-0.055; Below-Grade Wood, Concrete or Masonry Walls R-15/U-0.069; Slab Edge R-10/F-0.52; Duct Insulation R-8. R-values used in this table are nominal, for the insulation only and not for the entire assembly. Window and skylight U-values shall not exceed 0.65 (CL65). A single door not to exceed 28 square feet (2.6 m²) per dwelling unit is permitted to be excluded from the thermal performance calculations. All other Door U-values shall not exceed 0.54 (Nominal R-2).
- e. U-factors for wood frame ceilings, walls and floor assemblies shall be as specified in Table N1104.1(2). U-factors for other assemblies, which include steel framing, brick or other masonry, stucco, etc., shall be calculated using standard ASHRAE procedures.
- f. Vaulted area, unless insulated to R-38, U-0.031, may not exceed 50 percent of the total heated space floor area.
- g. F = The heat loss coefficient, Btu/h/ft²/F per foot of perimeter.
- h. Whenever skylight area for Proposed Alternative exceeds 2 percent of the total heated space floor area, enter 2 percent of area under Standard Base Case at U-0.75, then the remaining area under Standard Base Case at U-0.60. For Proposed Alternative skylights, enter the actual skylight area and U-factor of those to be installed in residence.
- i. A maximum of 28 square feet (2.6 m²) of exterior door area per dwelling unit can have a U-factor of 0.54 or less. Default U-factor for an unglazed wood door is 0.54.
- j. Proposed UA must be less than or equal to CODE UA.

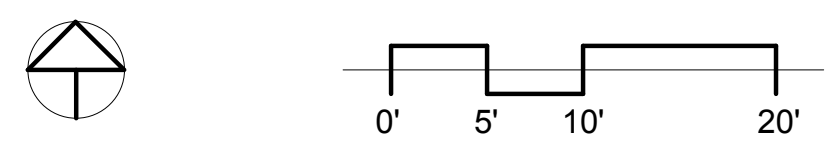
SHEET INDEX

Sheet #	Sheet Discipline	Sheet Name
ARCHITECTURAL		
A0	ARCHITECTURAL	COVER SHEET
A1	ARCHITECTURAL	SITE PLAN
A2	ARCHITECTURAL	FLOOR PLANS
A2.1	ARCHITECTURAL	FRAMING PLANS
A3	ARCHITECTURAL	ROOF PLAN & ELEVATIONS
A4	ARCHITECTURAL	ELEVATIONS
A5	ARCHITECTURAL	RCPS
A6	ARCHITECTURAL	BUILDING SECTIONS
A7	ARCHITECTURAL	WALL SECTIONS
A8	ARCHITECTURAL	WALL SECTIONS
A9	ARCHITECTURAL	STAIR DETAILS
A10	ARCHITECTURAL	WALL & FLOOR DETAILS
A11	ARCHITECTURAL	ROOF DETAILS
A13	ARCHITECTURAL	DOOR AND WINDOW DETAILS
SOLAR		
PV1.0	SOLAR	GENERAL SPECIFICATIONS - VICINITY & SITE PLANS
PV3.0	SOLAR	ARRAY DESIGN - LAYOUT
PV5.0	SOLAR	ELECTRICAL SPECIFICATION
PV6.0	SOLAR	STRUCTURAL SPECIFICATIONS
STRUCTURAL		
S0.1	STRUCTURAL	GENERAL NOTES
S2.0	STRUCTURAL	FOUNDATION & FIRST FLOOR FRAMING PLANS
S2.1	STRUCTURAL	SECOND FLOOR AND ROOF FRAMING PLANS
S5.1	STRUCTURAL	FOUNDATION DETAILS
S7.1	STRUCTURAL	FRAMING DETAILS
S7.2	STRUCTURAL	FRAMING DETAILS



NOTE: PLANTER SIZED AS 6% OF ROOF AREA (-10% with tree reduction).
new trees allow 10% roof area reduction
2,293.2 (90% of 2,548 sf roof area) x .06 = 137.59sf
PLANTER DIMENSIONS: 21' - 6" x 6' - 6" = 139.75sf

2 Infiltration Planter Section
A1 1/2" = 1'-0"



1 SITE PLAN
A1 1/8" = 1'-0"

LOT AREA
LOT AREA: 6,000 SF
BUILDING COVERAGE
BUILDING FOOTPRINT: 2,236 SF
IMPERVIOUS AREA
DRIVEWAY: N/A
FRONT PORCH: 295 SF
SIDEWALK: 248 SF
ROOF AREA: 2,548 SF

3141 E. BURNSIDE

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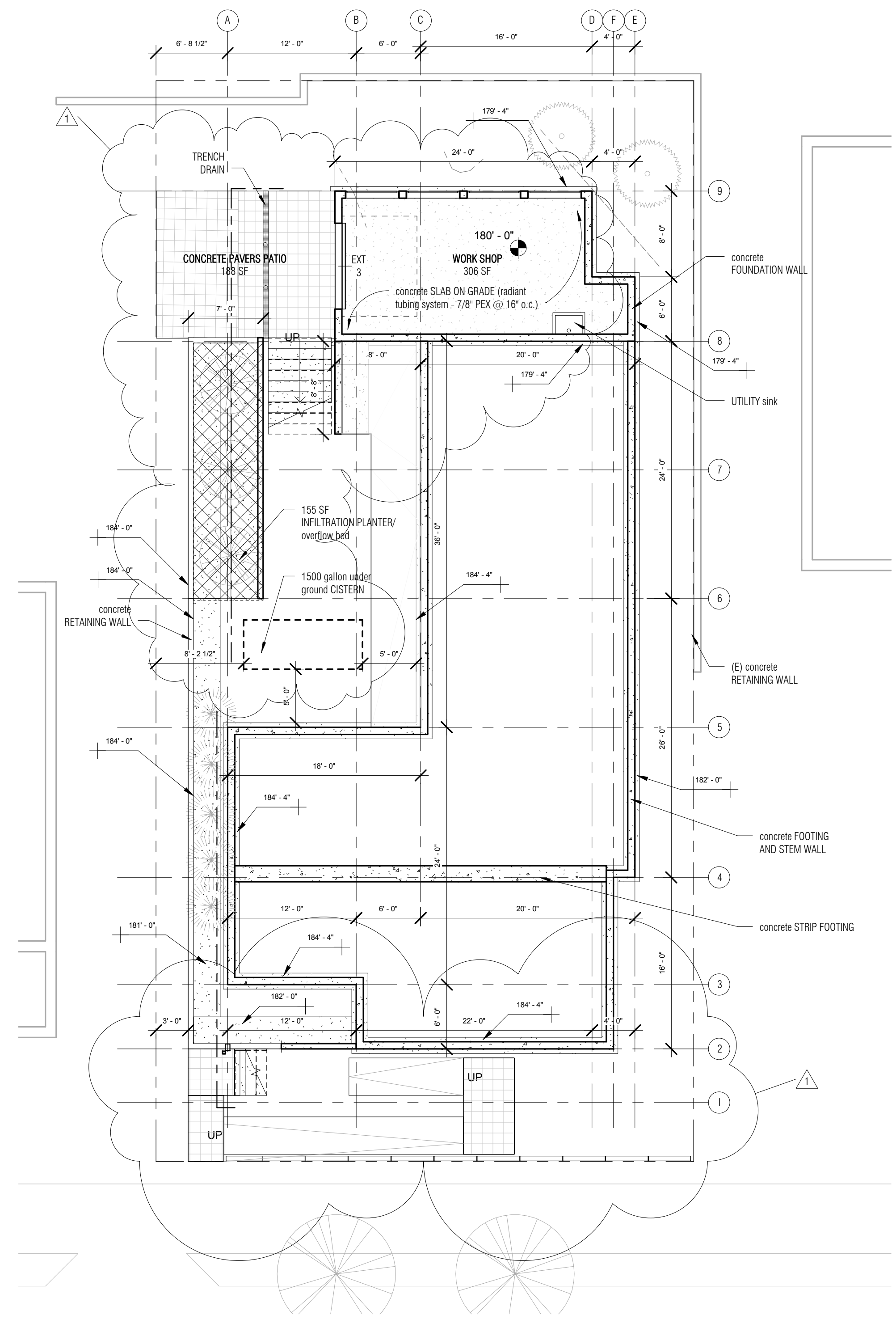
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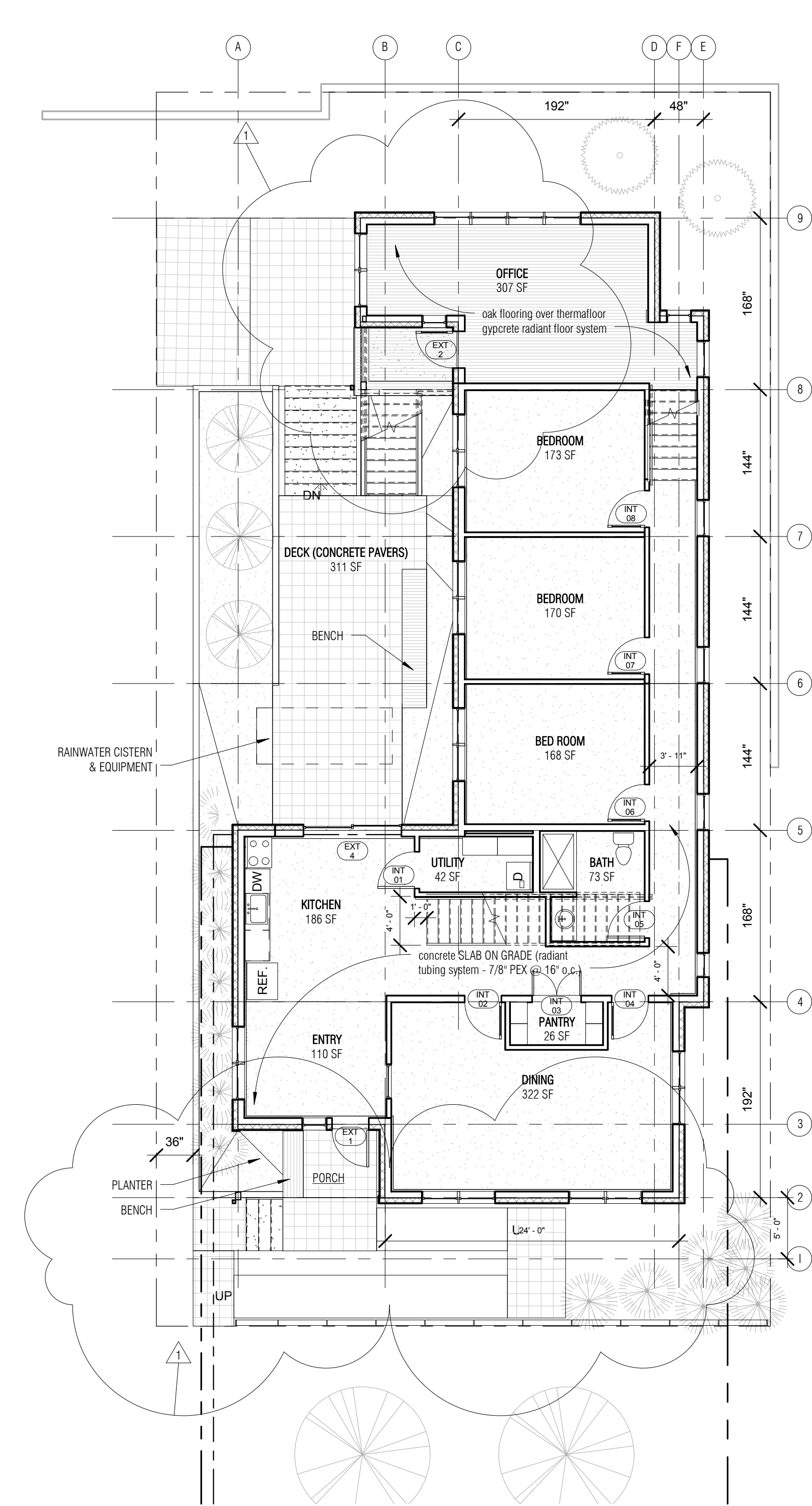
sheet number:

A1

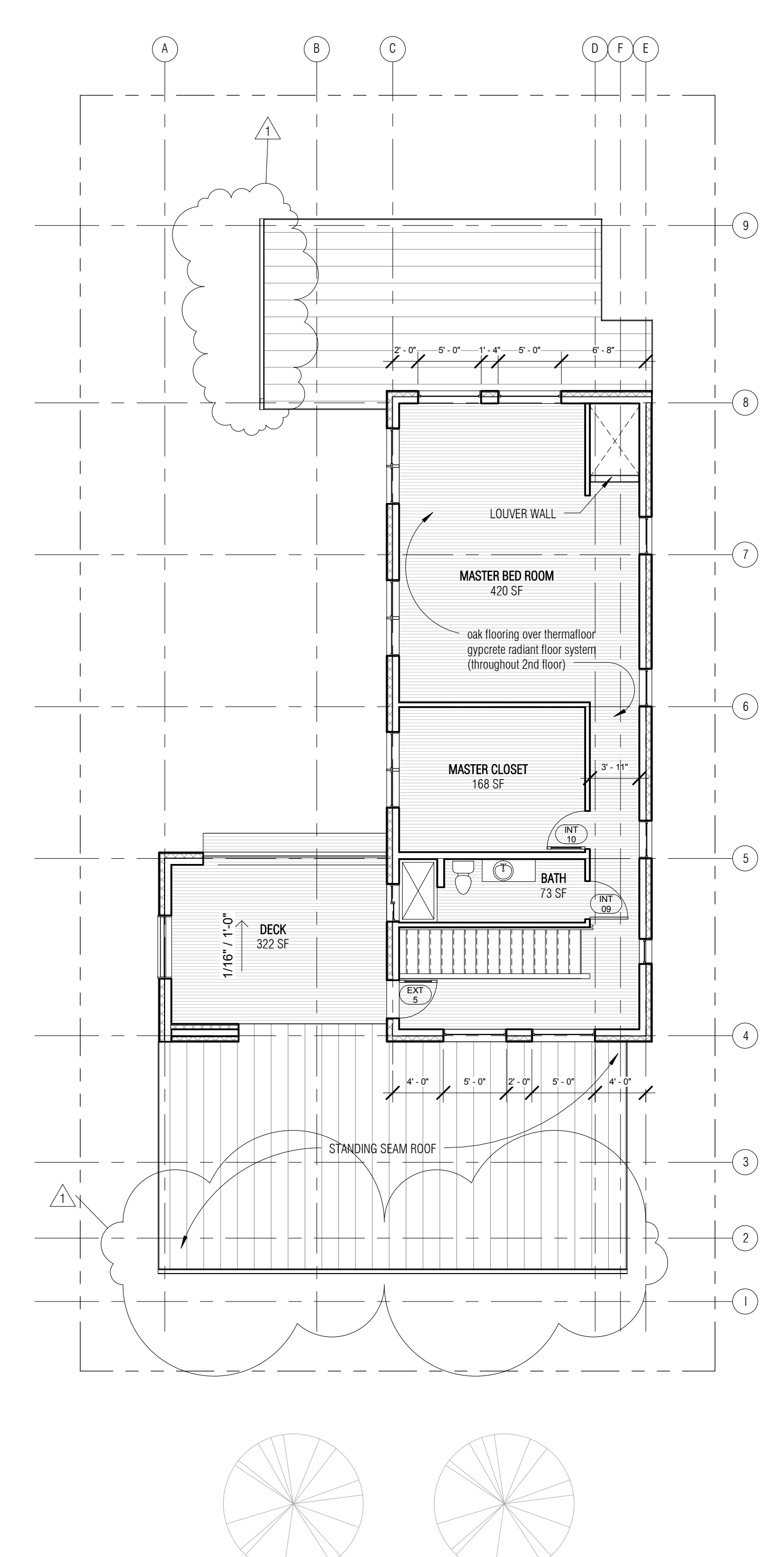
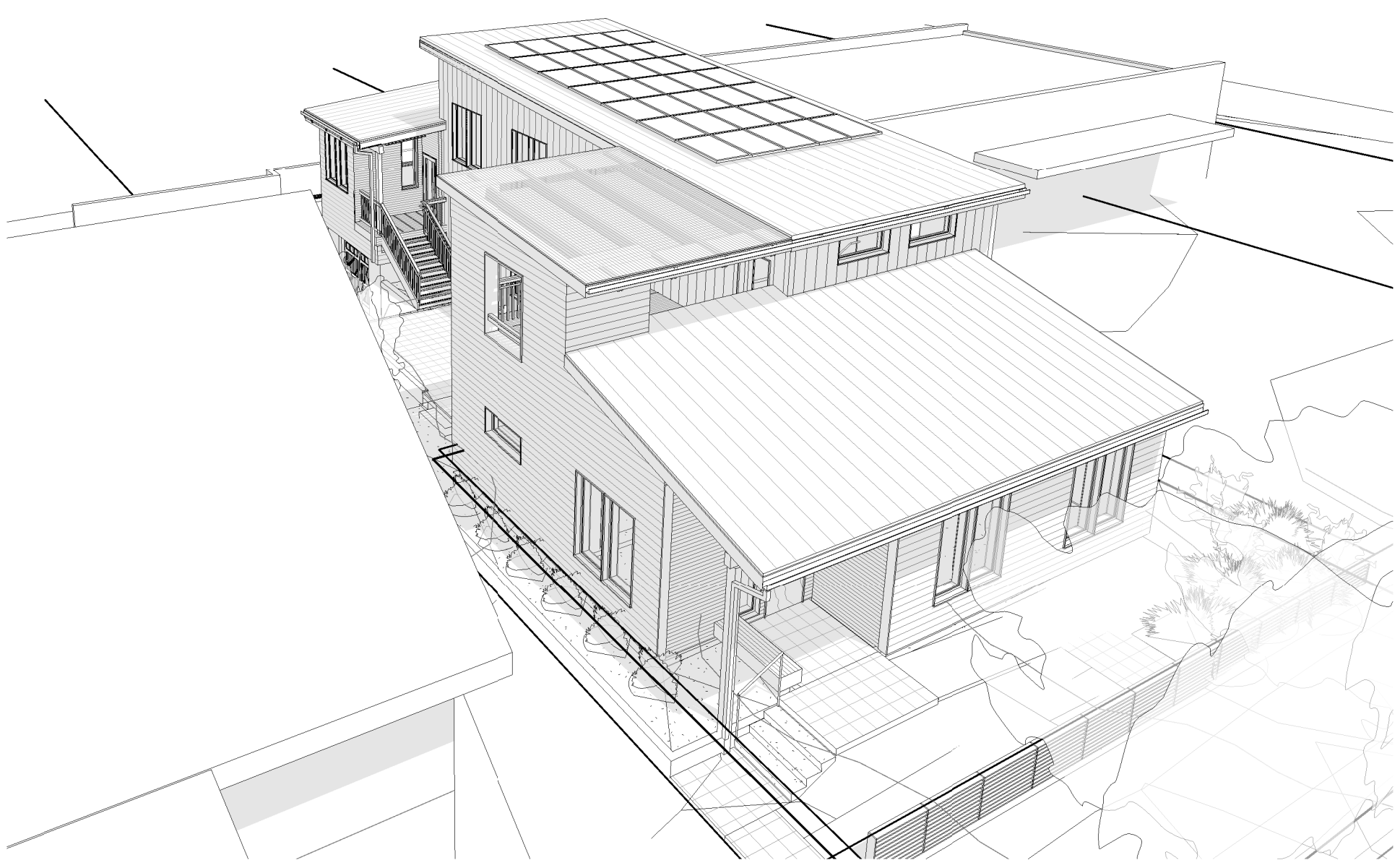
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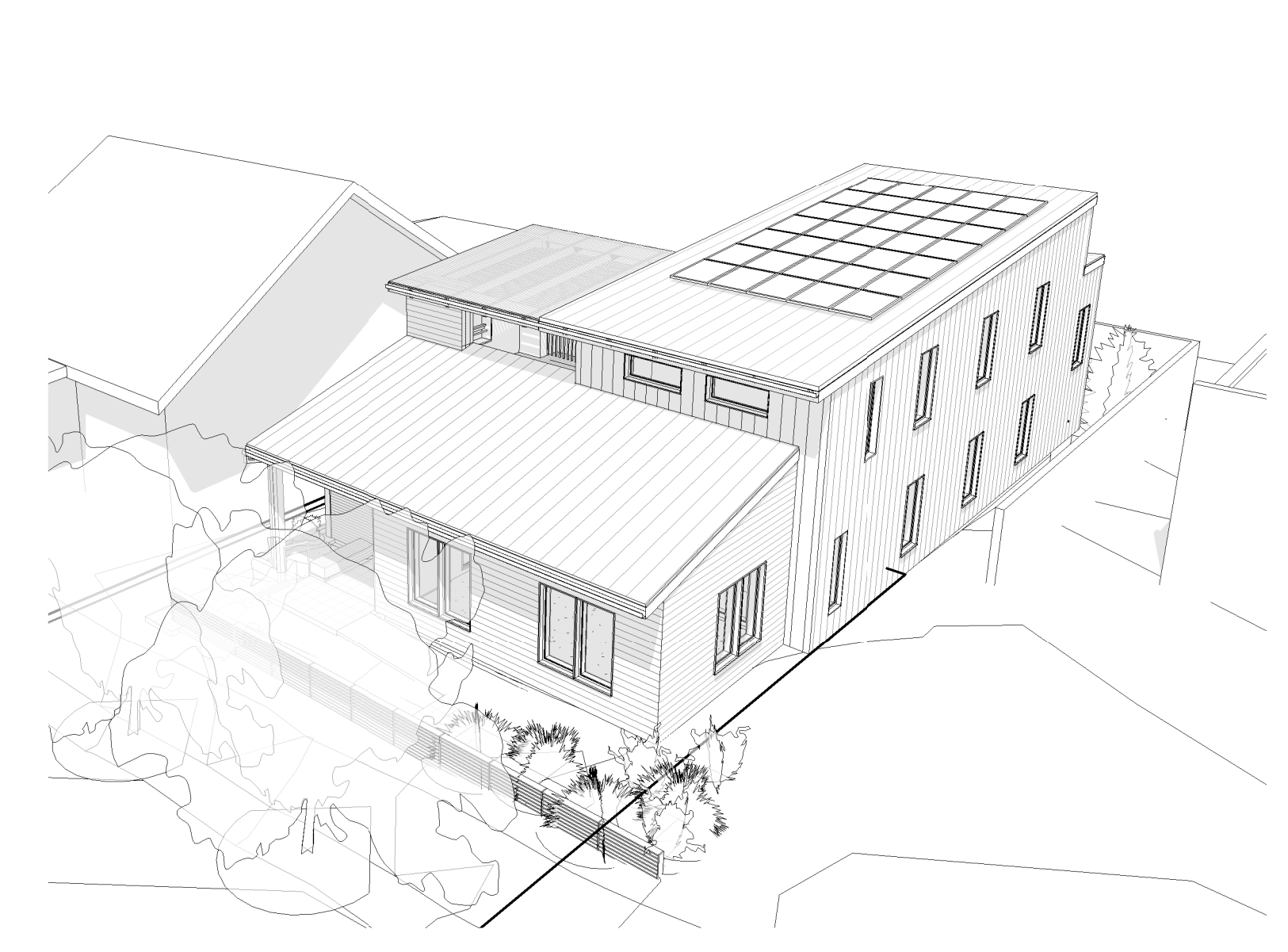
1 FOUNDATION & WORKSHOP PLAN
A2 1/8" = 1'-0"



2 FIRST FLOOR
A2 1/8" = 1'-0"



3 SECOND FLOOR
A2 1/8" = 1'-0"



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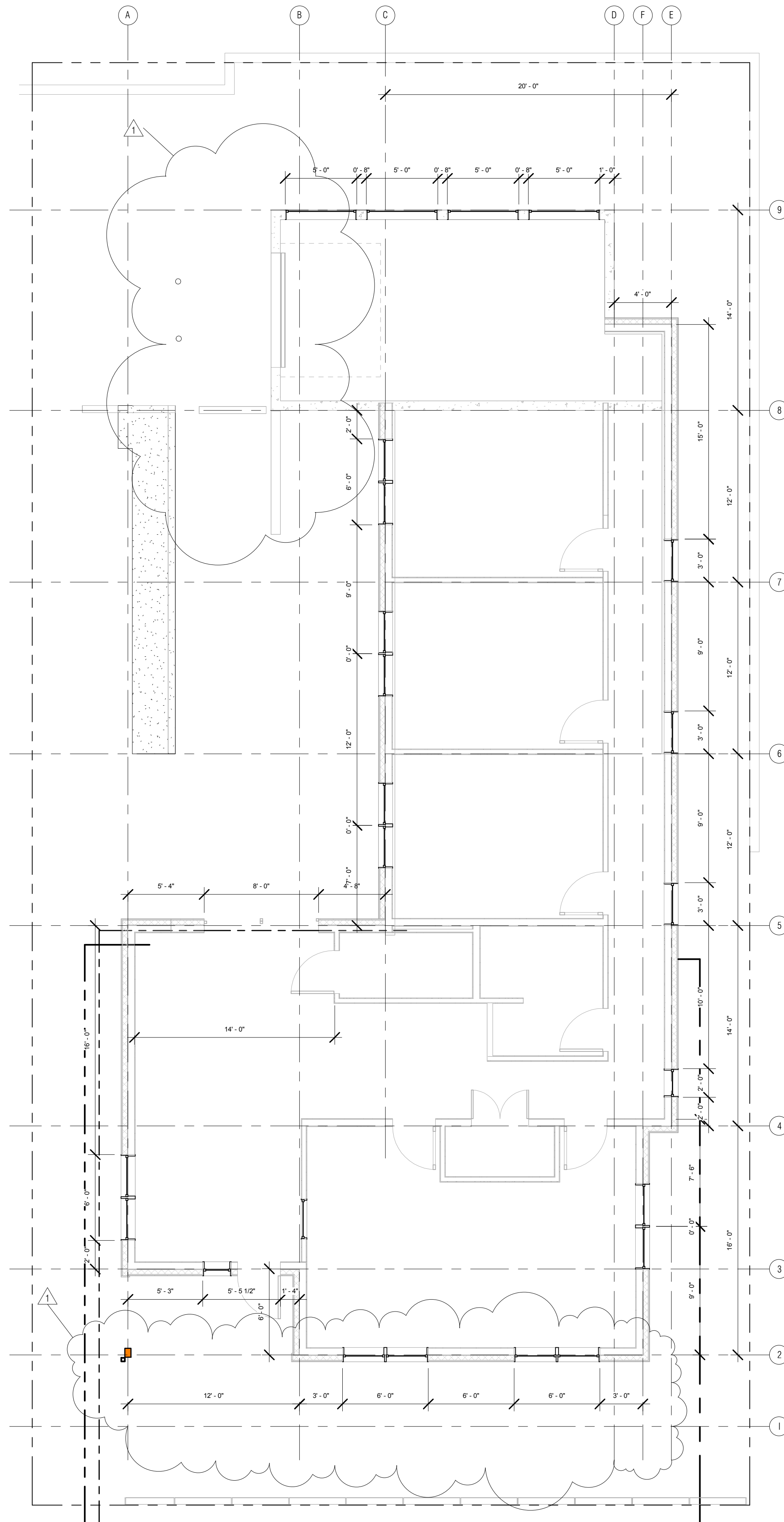
sheet title:

FLOOR PLANS

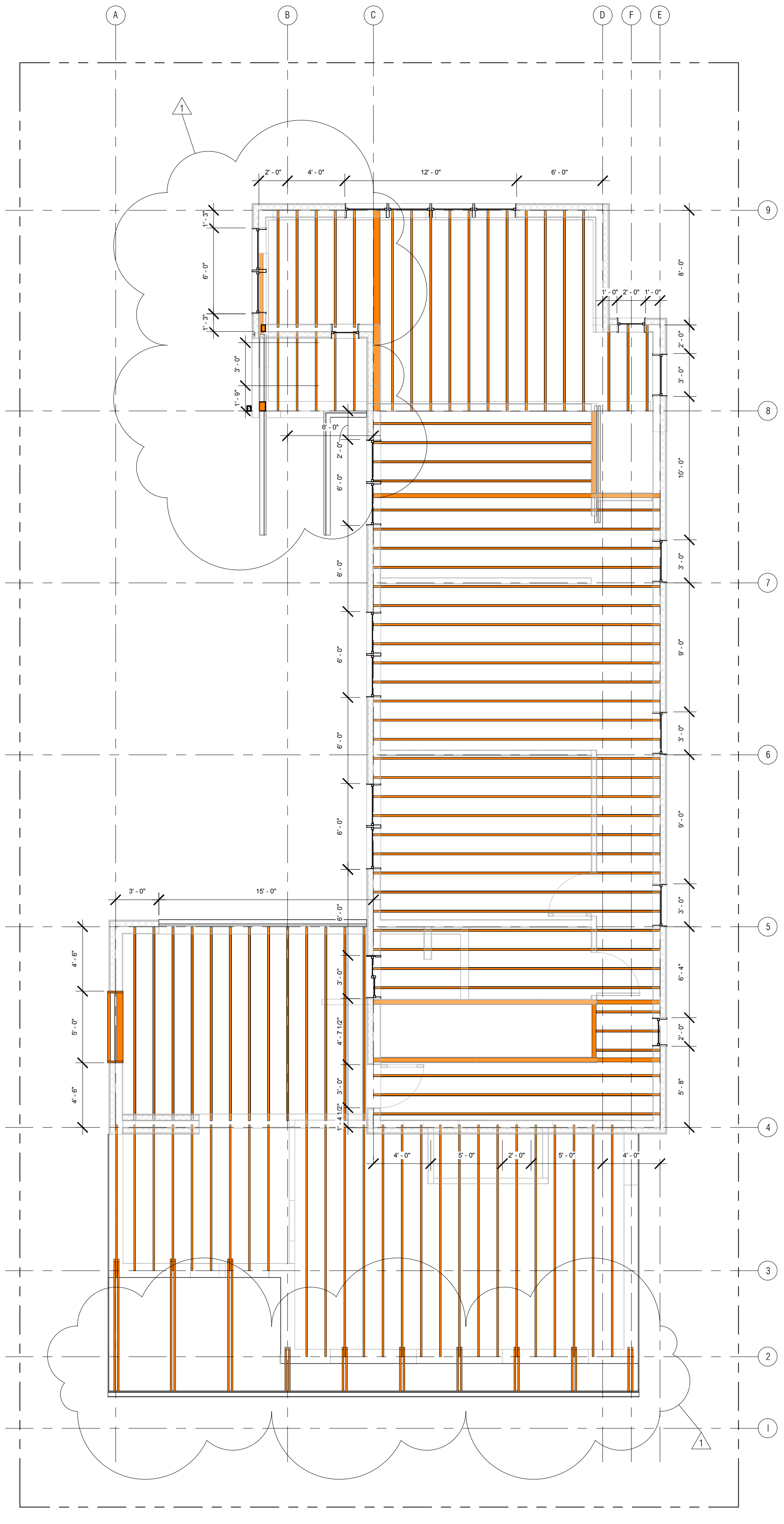
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A2

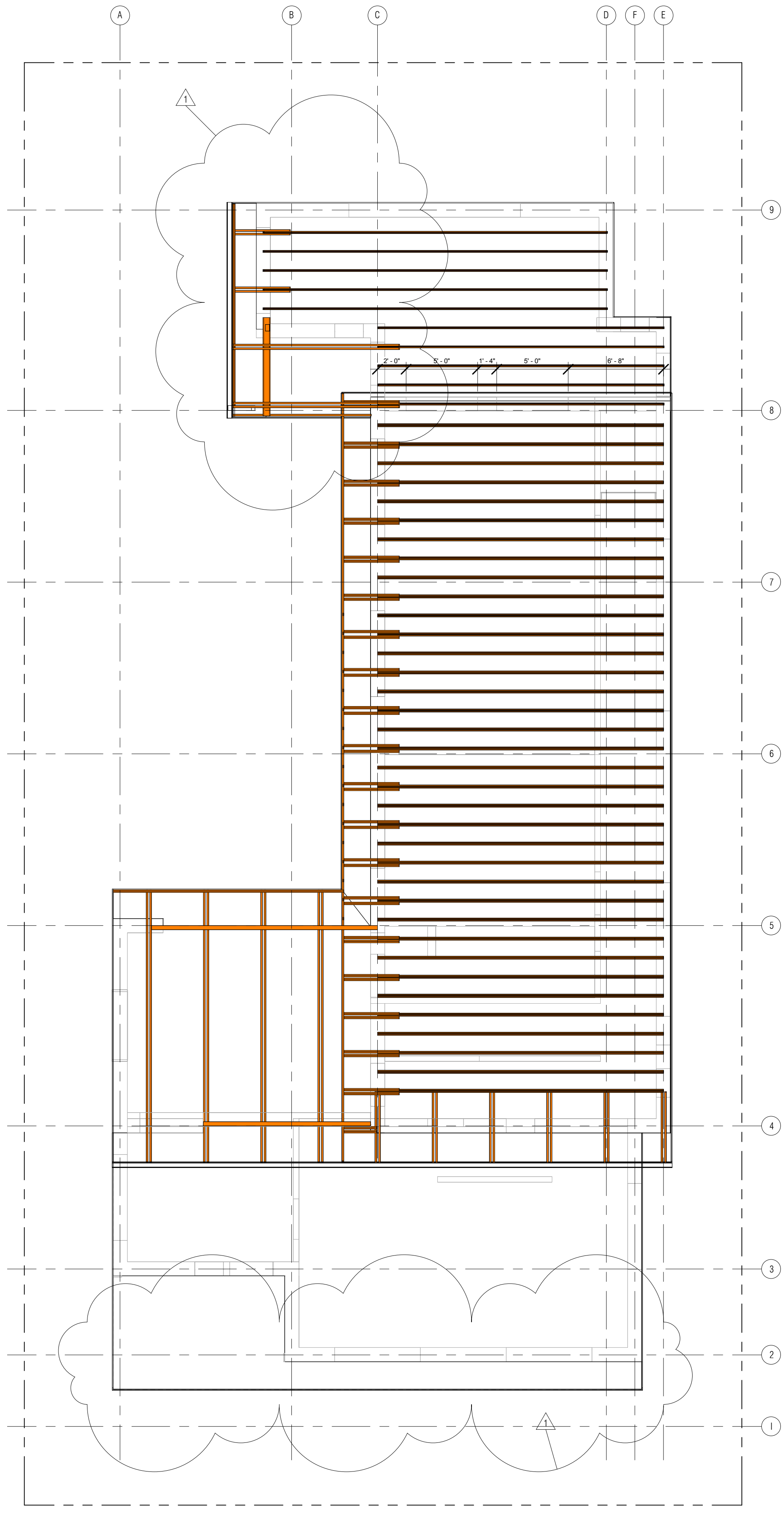
PERMIT SET



1 FIRST FLOOR_framing
 A2.1 3/16" = 1'-0"
 REFERENCE STRUCTURAL FOR MEMBER SIZES



2 SECOND FLOOR_framing
 A2.1 3/16" = 1'-0"
 REFERENCE STRUCTURAL FOR MEMBER SIZES



3 ROOF_framing
 A2.1 3/16" = 1'-0"
 REFERENCE STRUCTURAL FOR MEMBER SIZES

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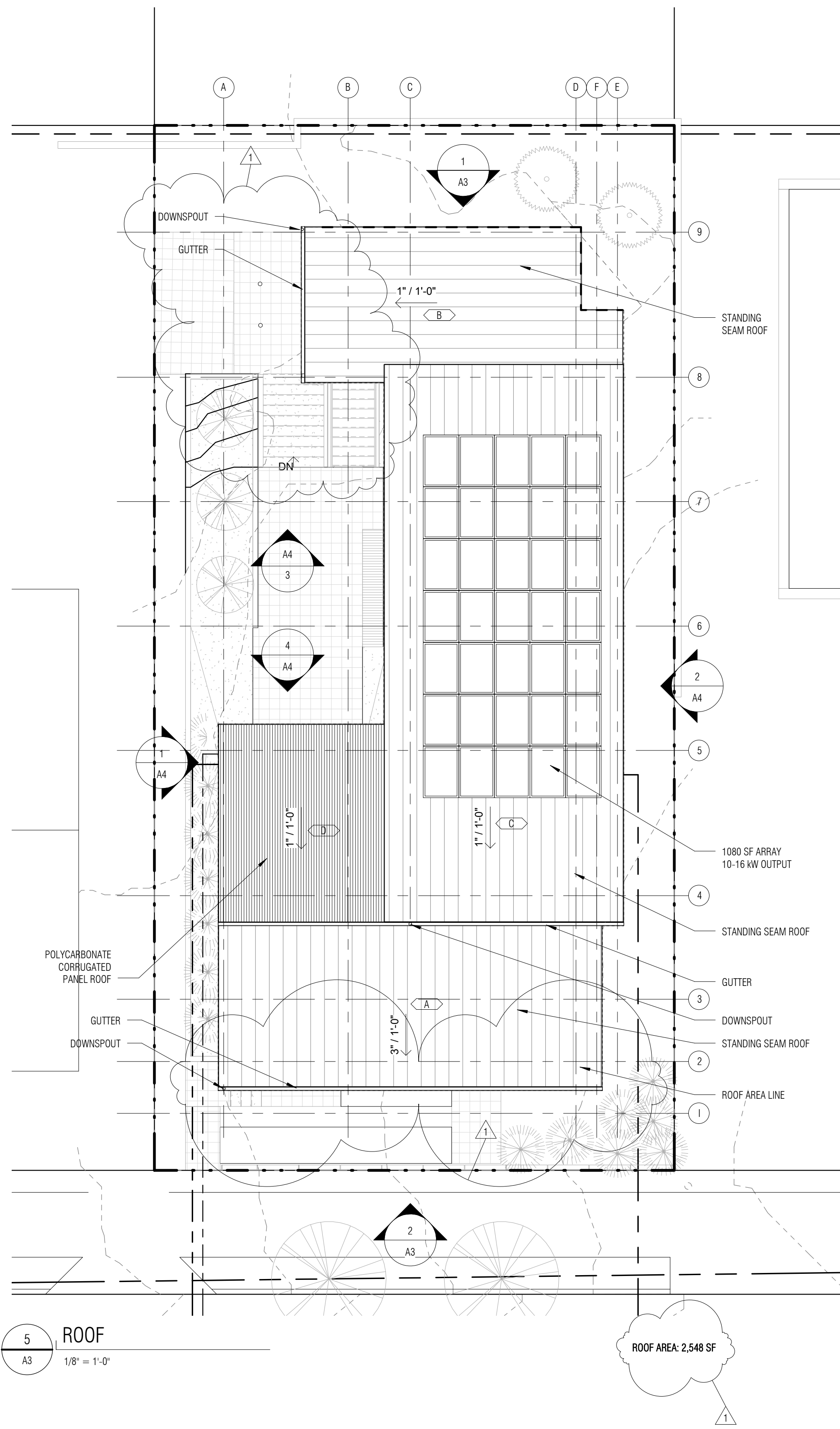
sheet title:

FRAMING PLANS

sheet number:

A2.1

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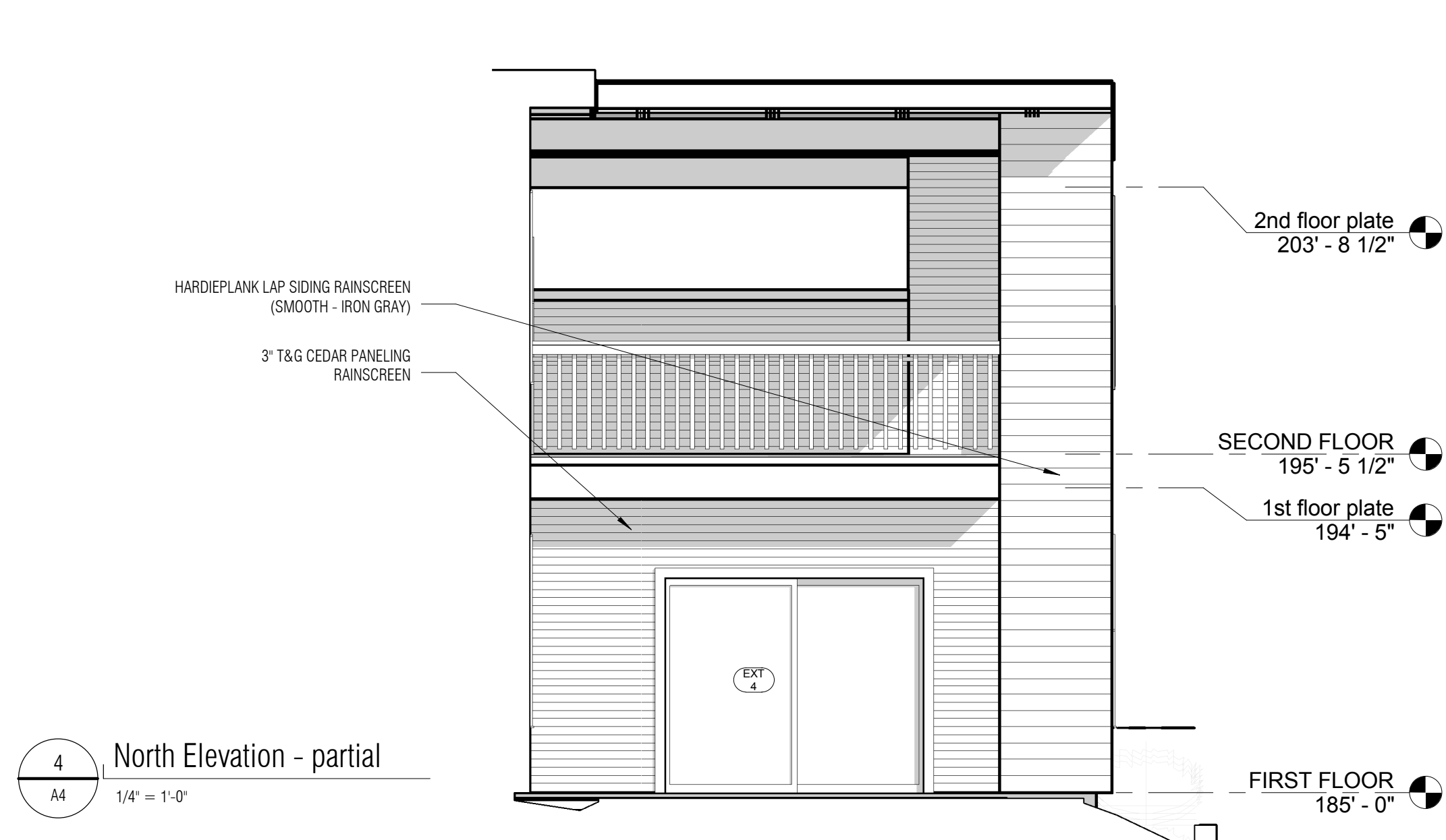
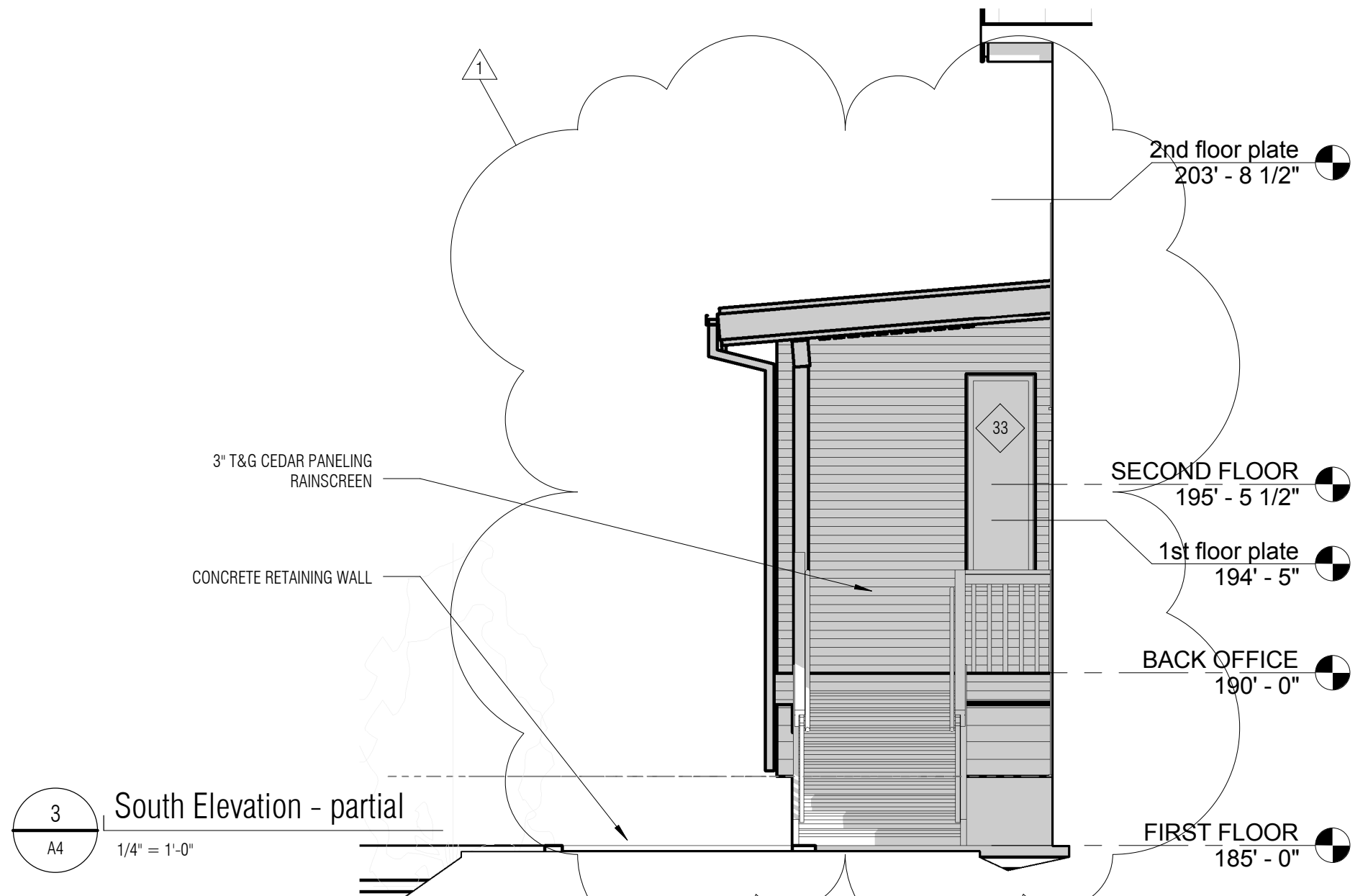
sheet title:

ROOF PLAN & ELEVATIONS

sheet number:

A3

PERMIT SET



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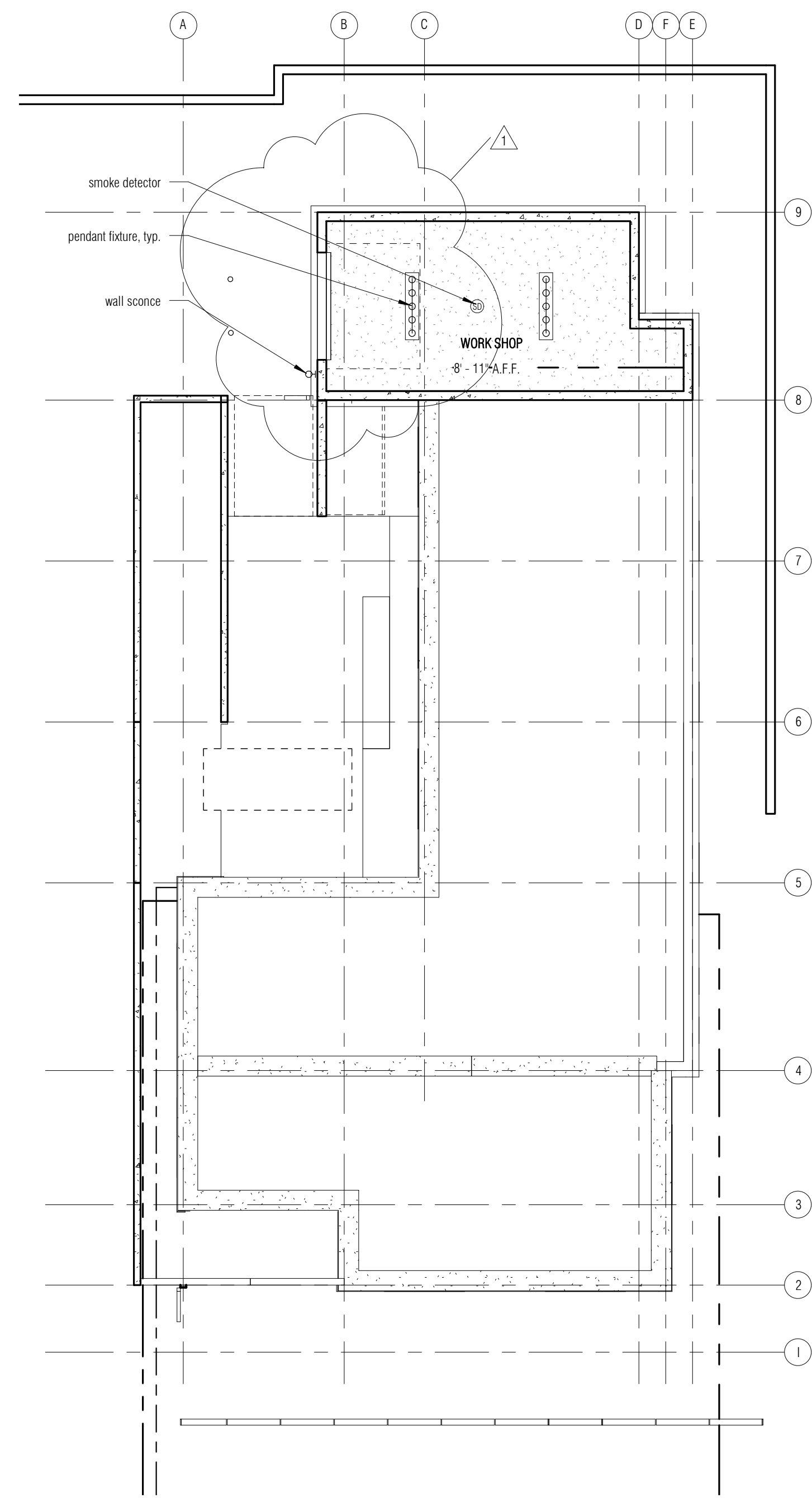
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date: 4/12/2016

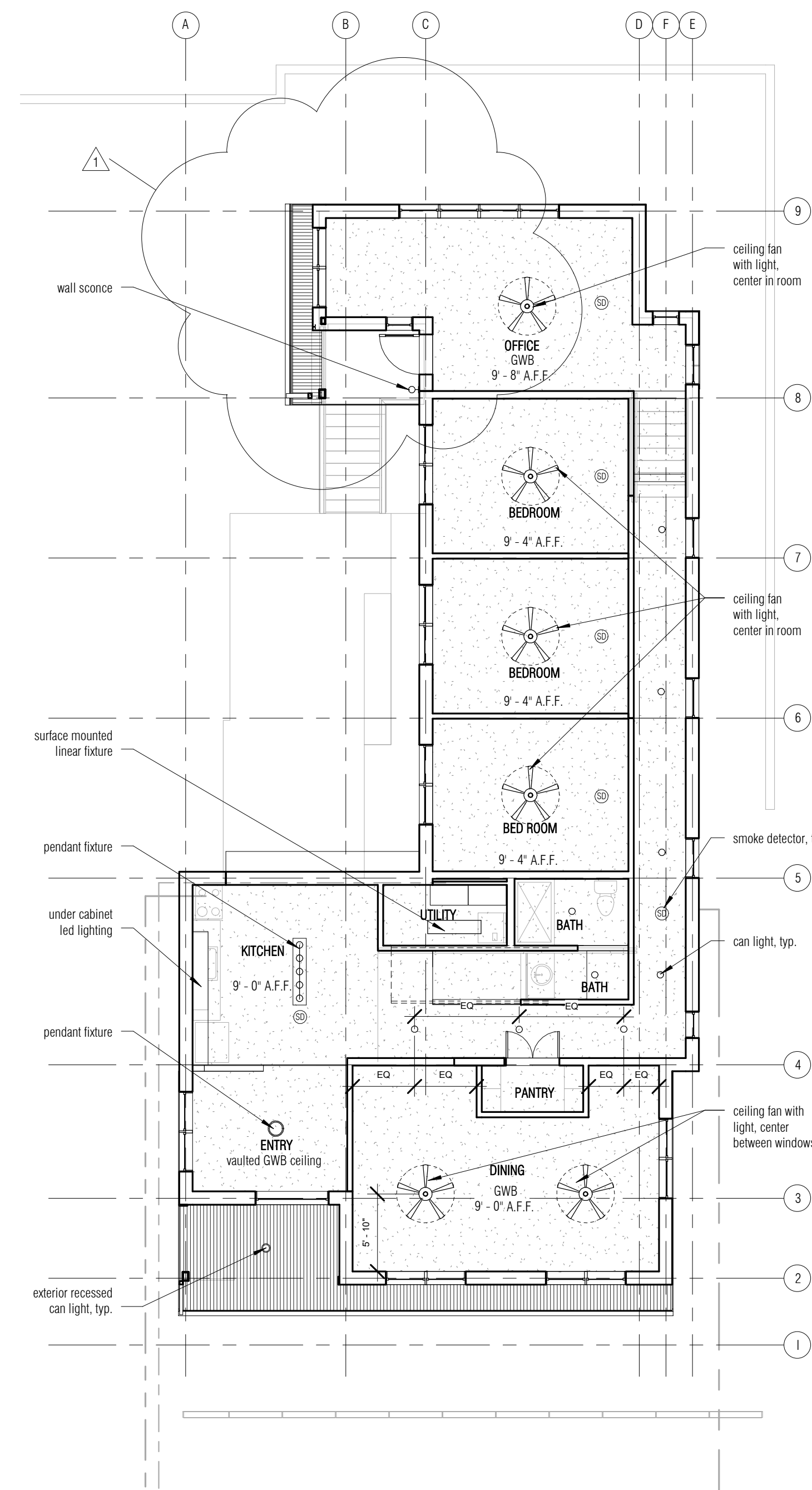
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sheet number: A4

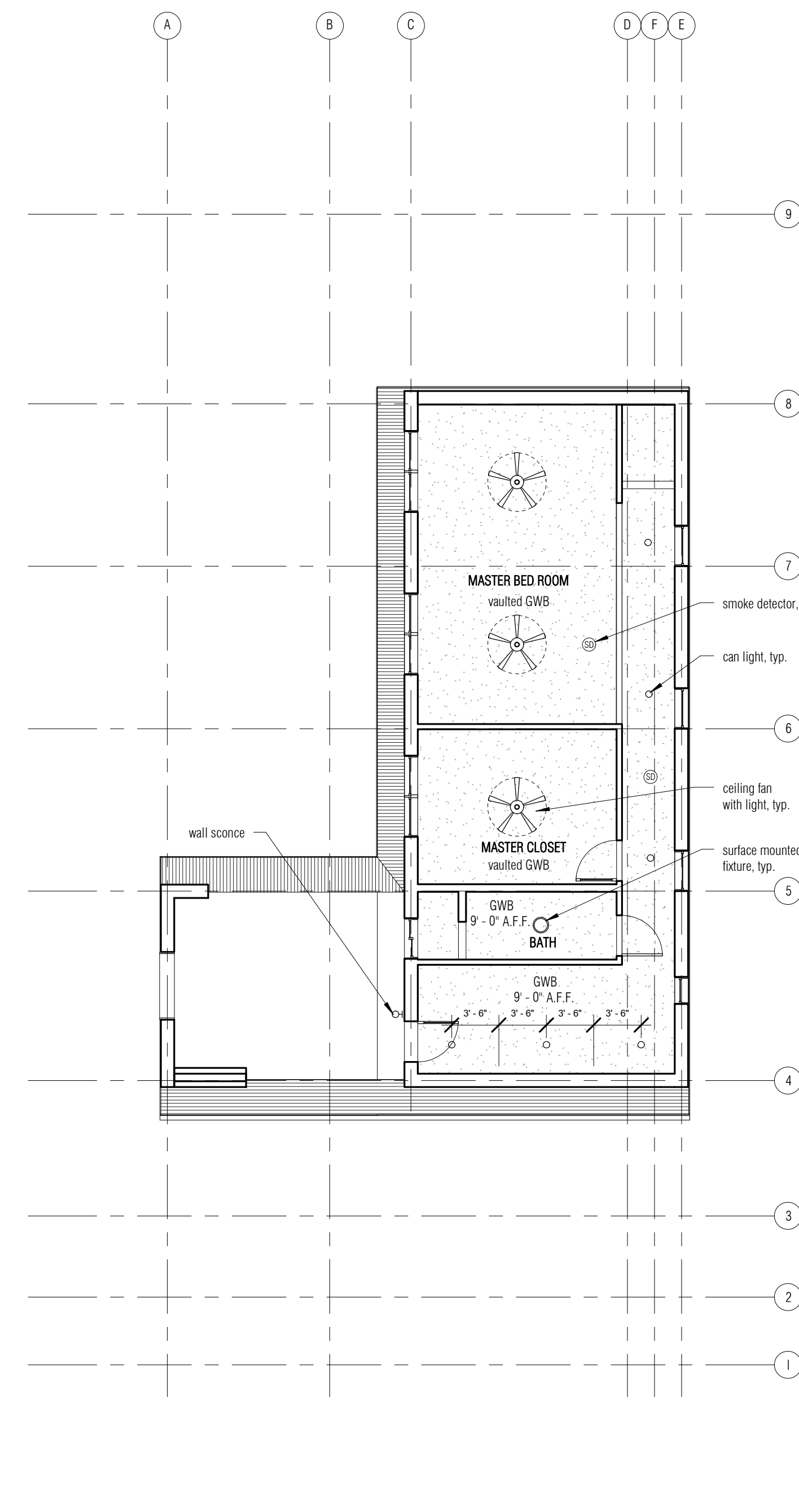
PERMIT SET



1 WORKSHOP FF
A5 1/8" = 1'-0"



2 FIRST FLOOR
A5 1/8" = 1'-0"



3 SECOND FLOOR
A5 1/8" = 1'-0"

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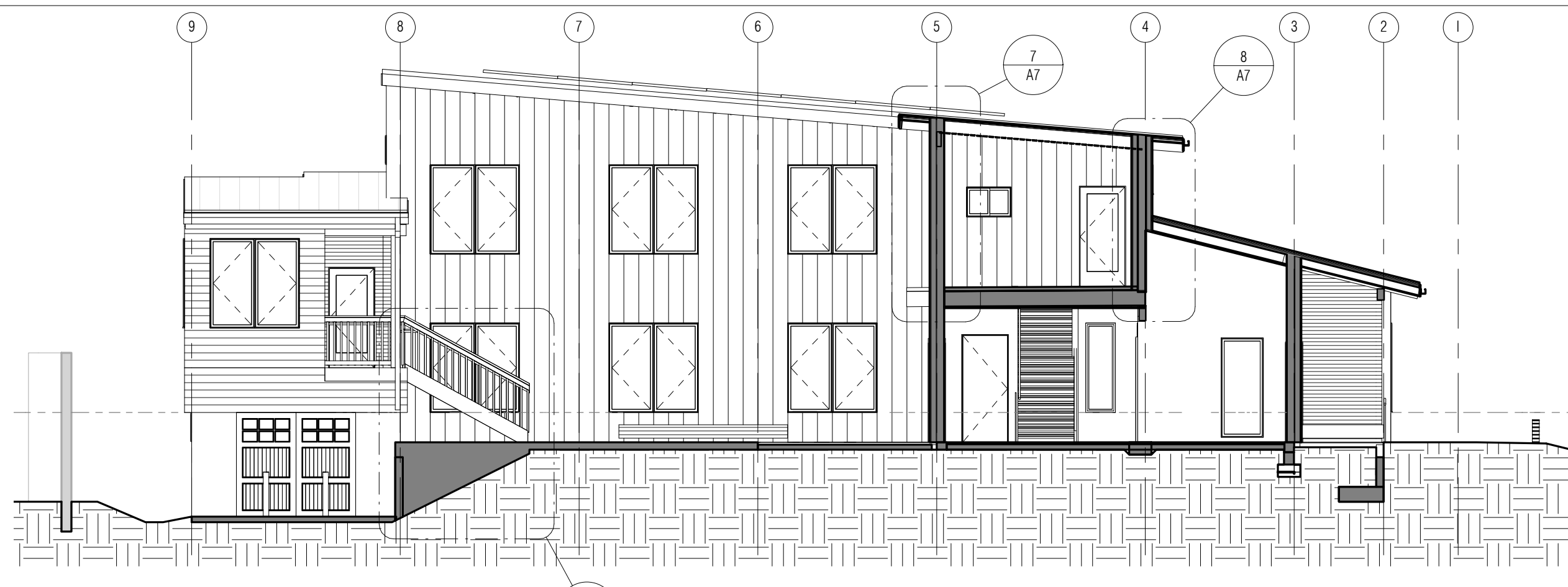
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RCPs

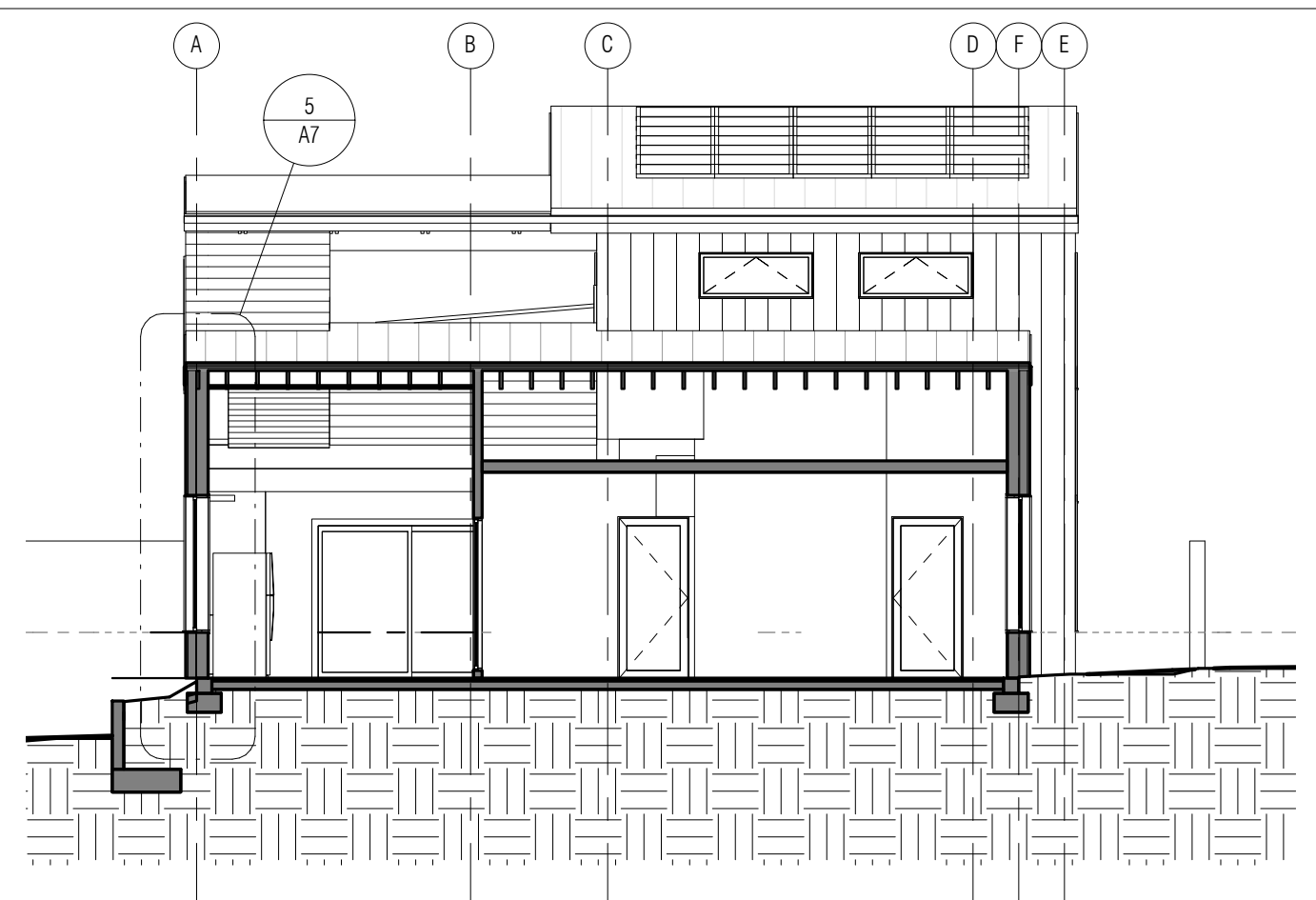
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A5

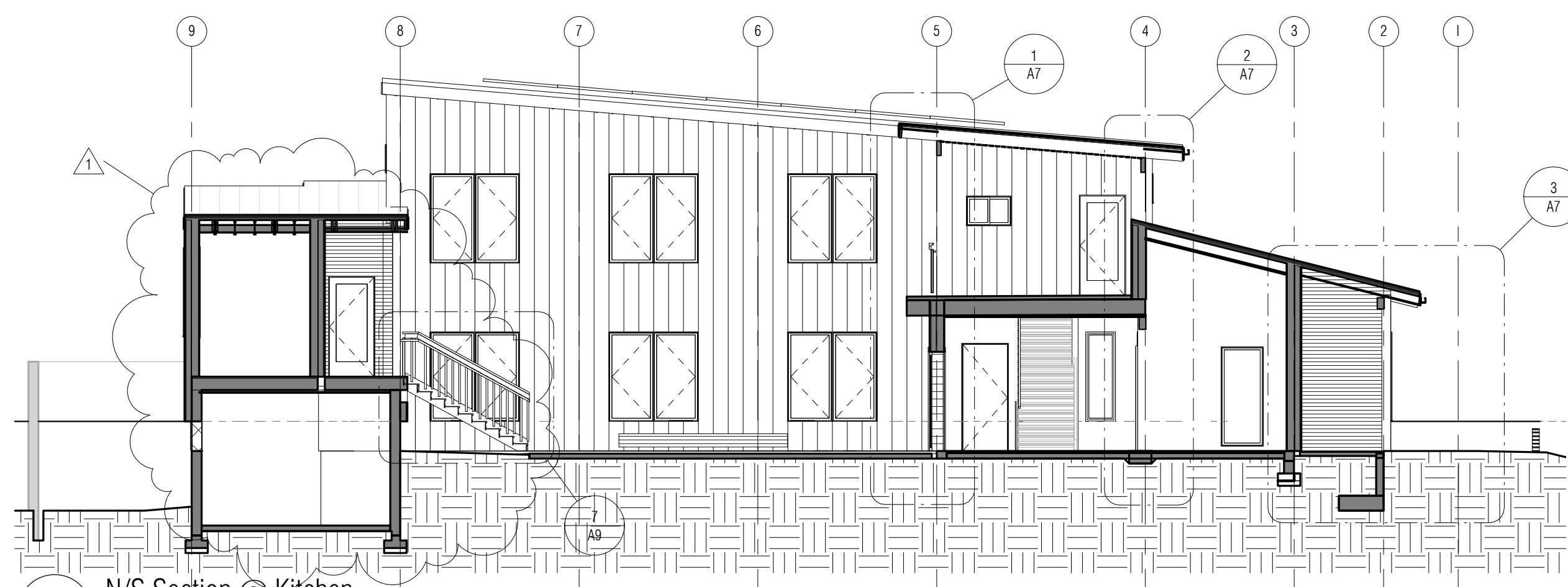
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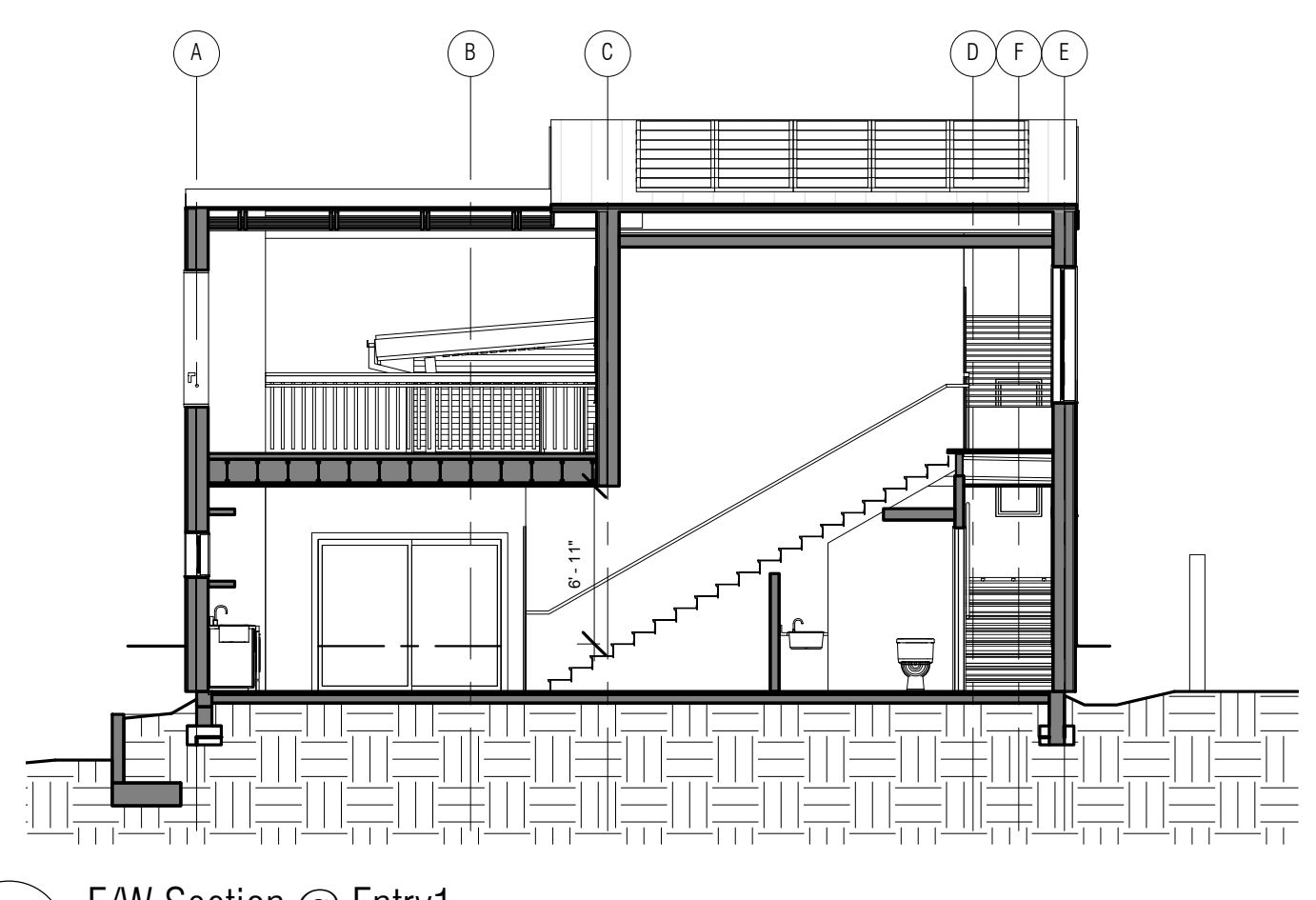
12 N/S Section @ Kitchen1
A6 1/8" = 1'-0"



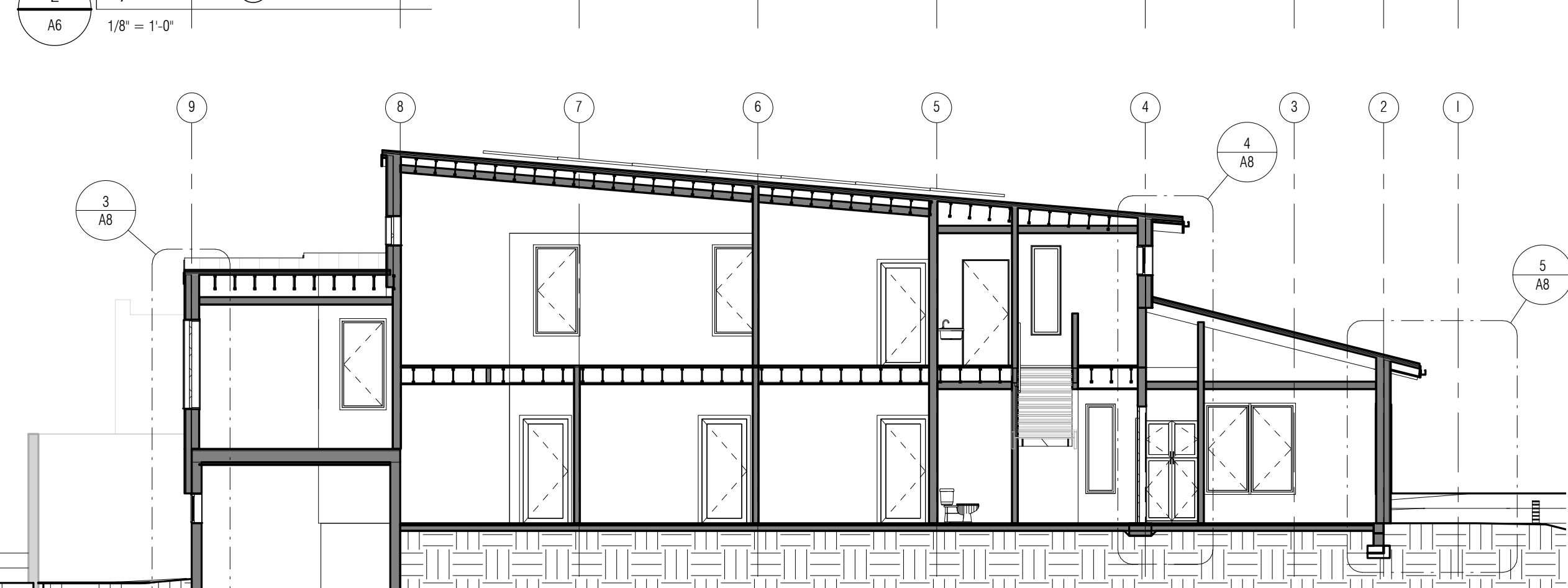
4 E/W Section @ Entry
A6 1/8" = 1'-0"



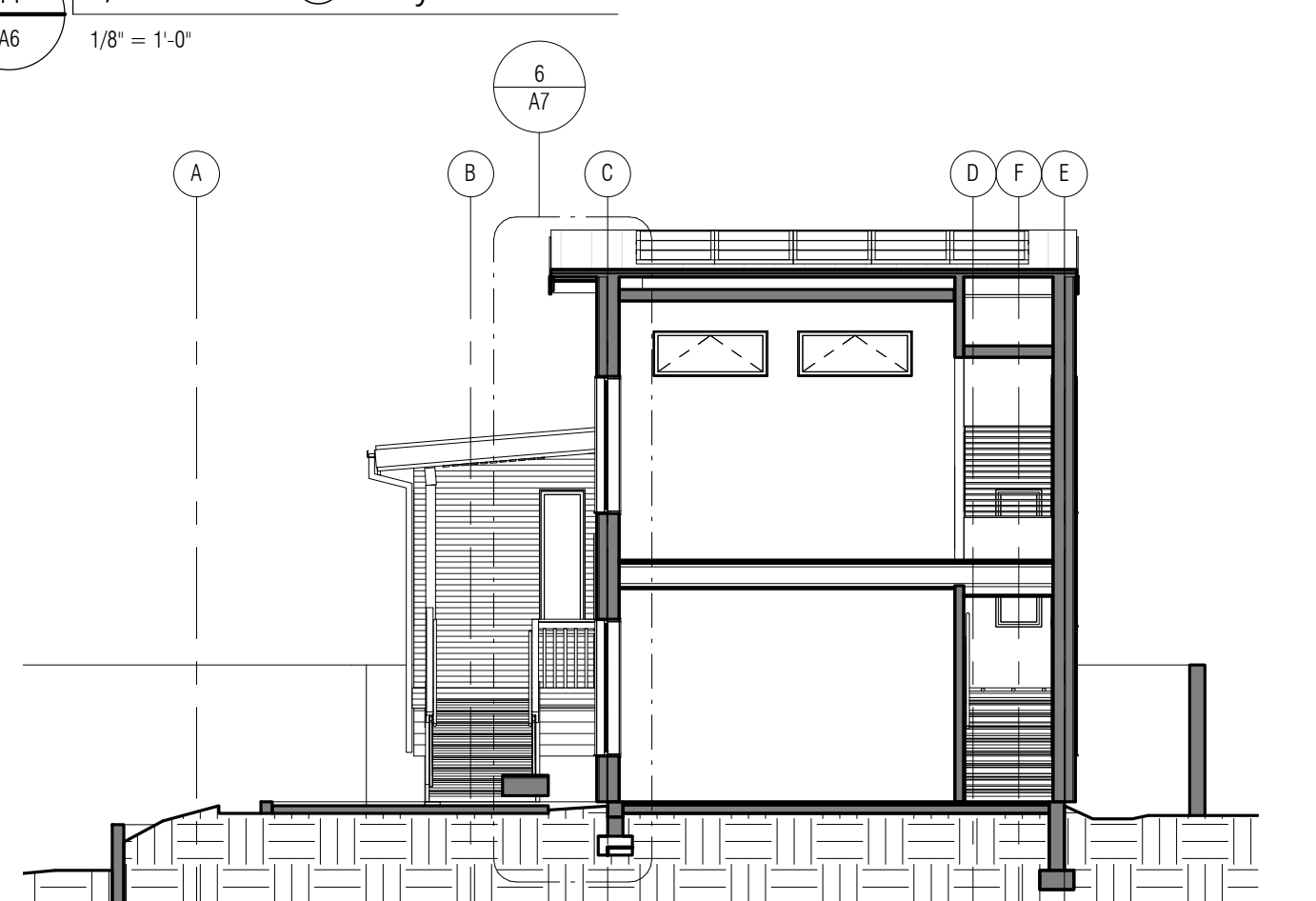
2 N/S Section @ Kitchen
A6 1/8" = 1'-0"



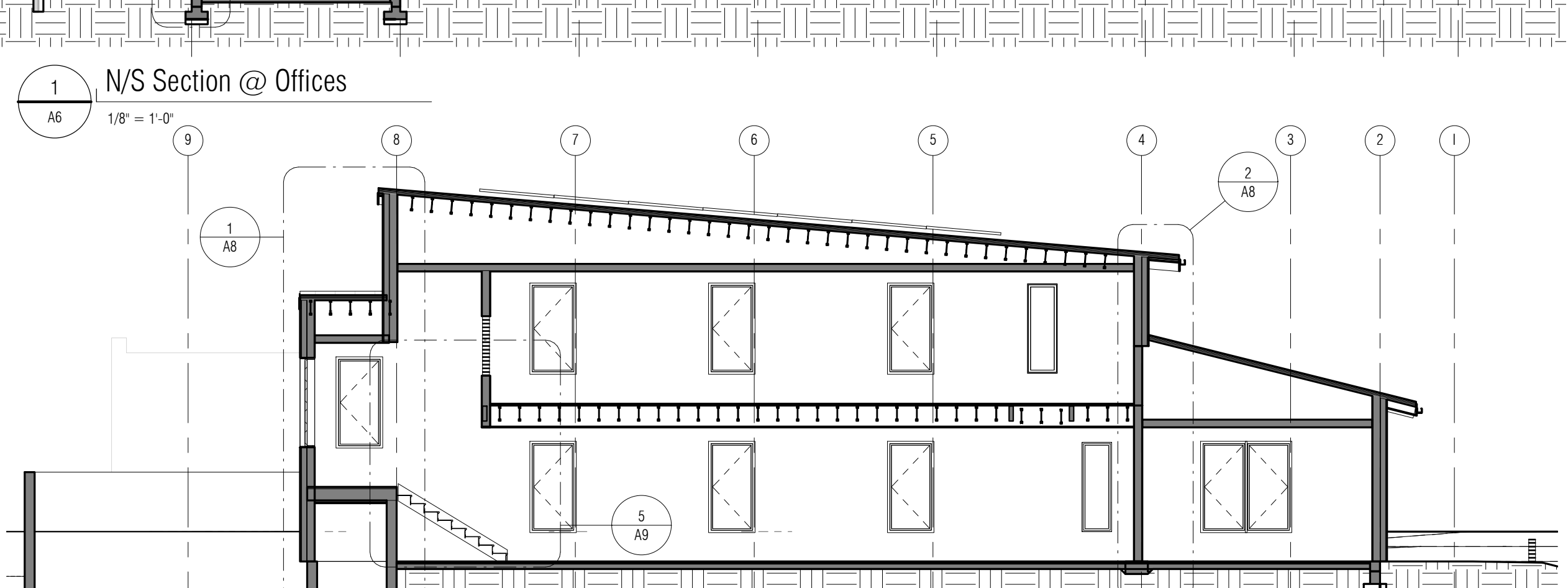
11 E/W Section @ Entry1
A6 1/8" = 1'-0"



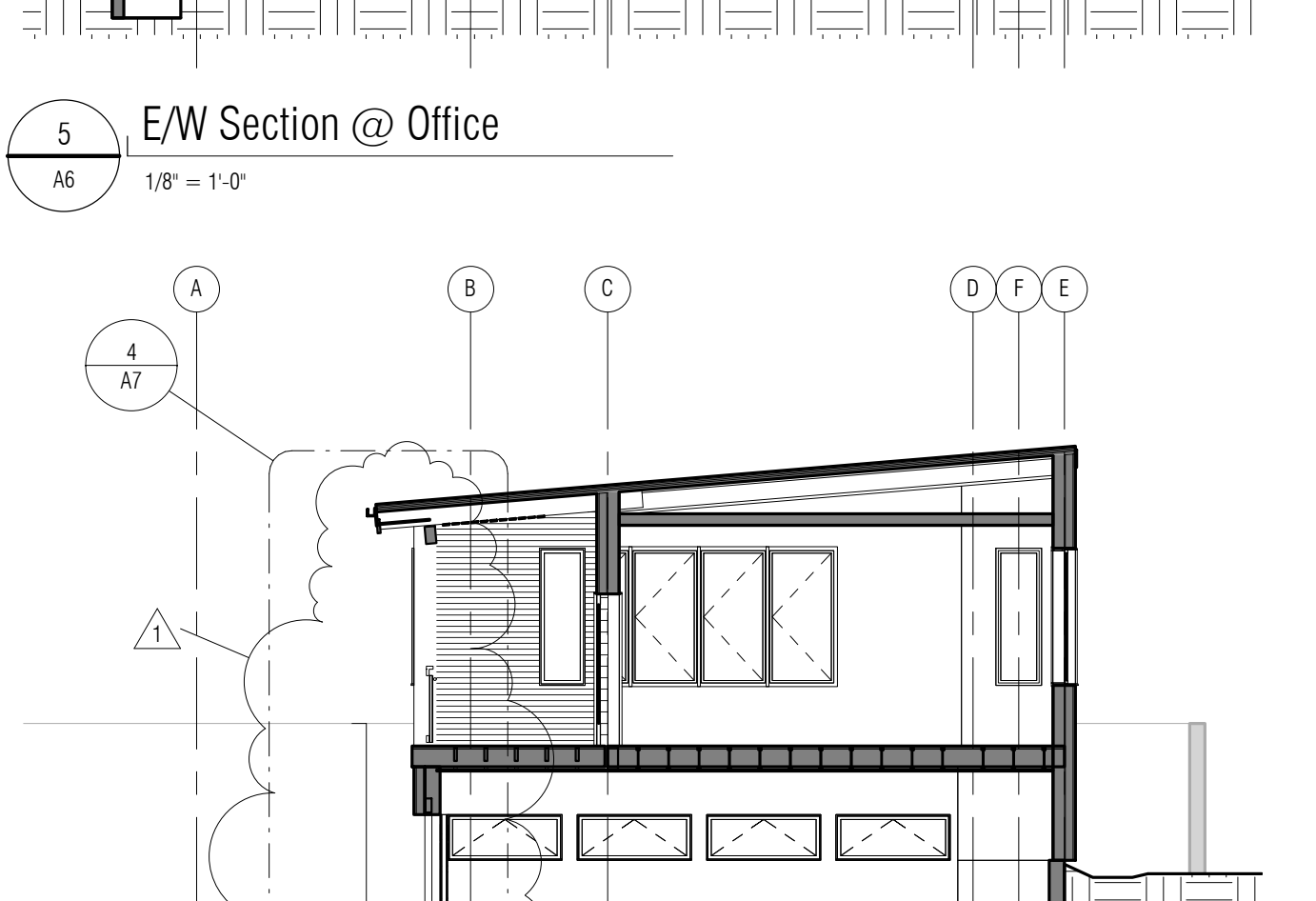
1 N/S Section @ Offices
A6 1/8" = 1'-0"



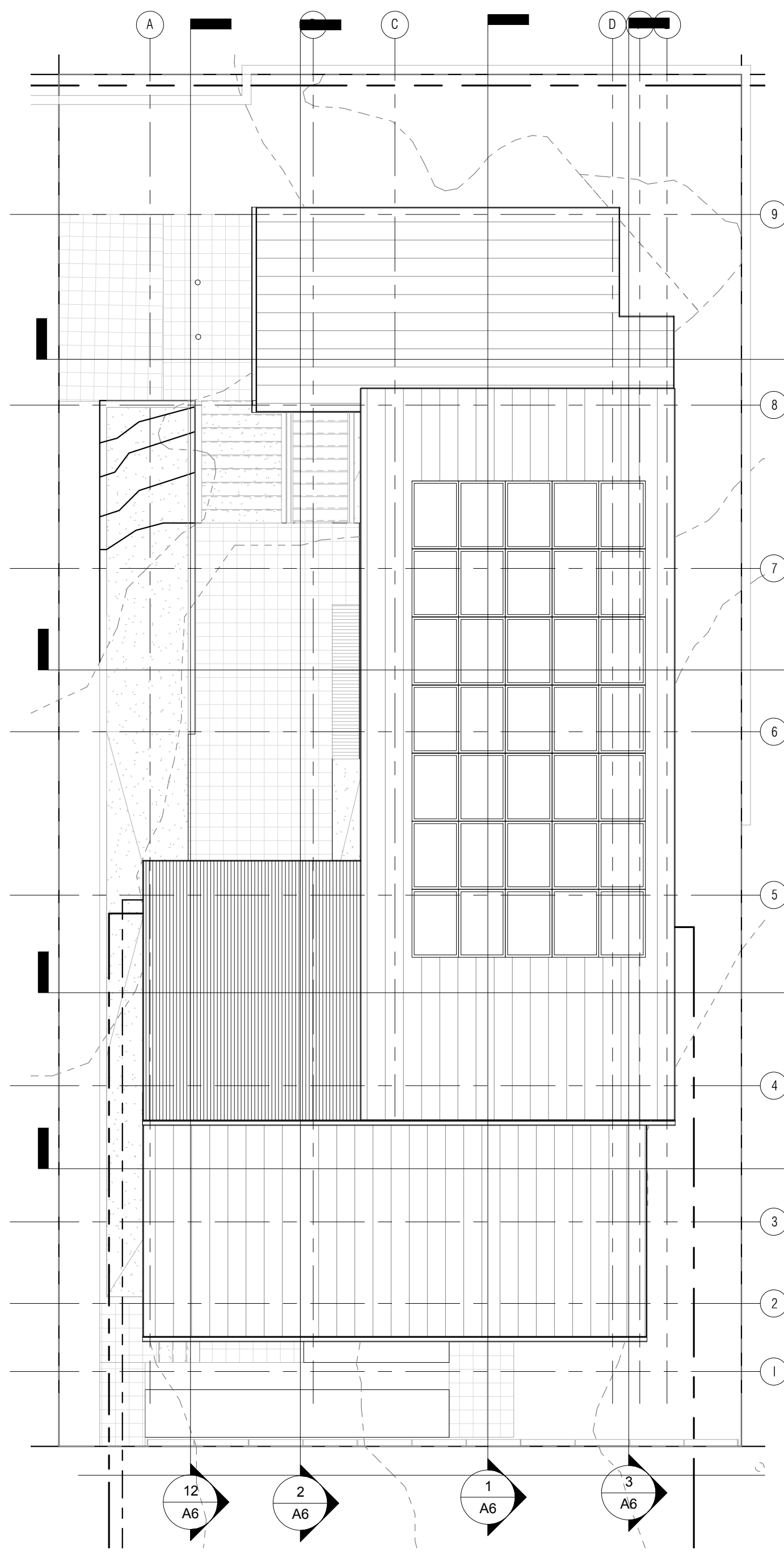
5 E/W Section @ Office
A6 1/8" = 1'-0"



3 N/S Section @ Corridor
A6 1/8" = 1'-0"



6 E/W Section @ Back Office
A6 1/8" = 1'-0"



7 ROOF Copy 1
A6 1/8" = 1'-0"

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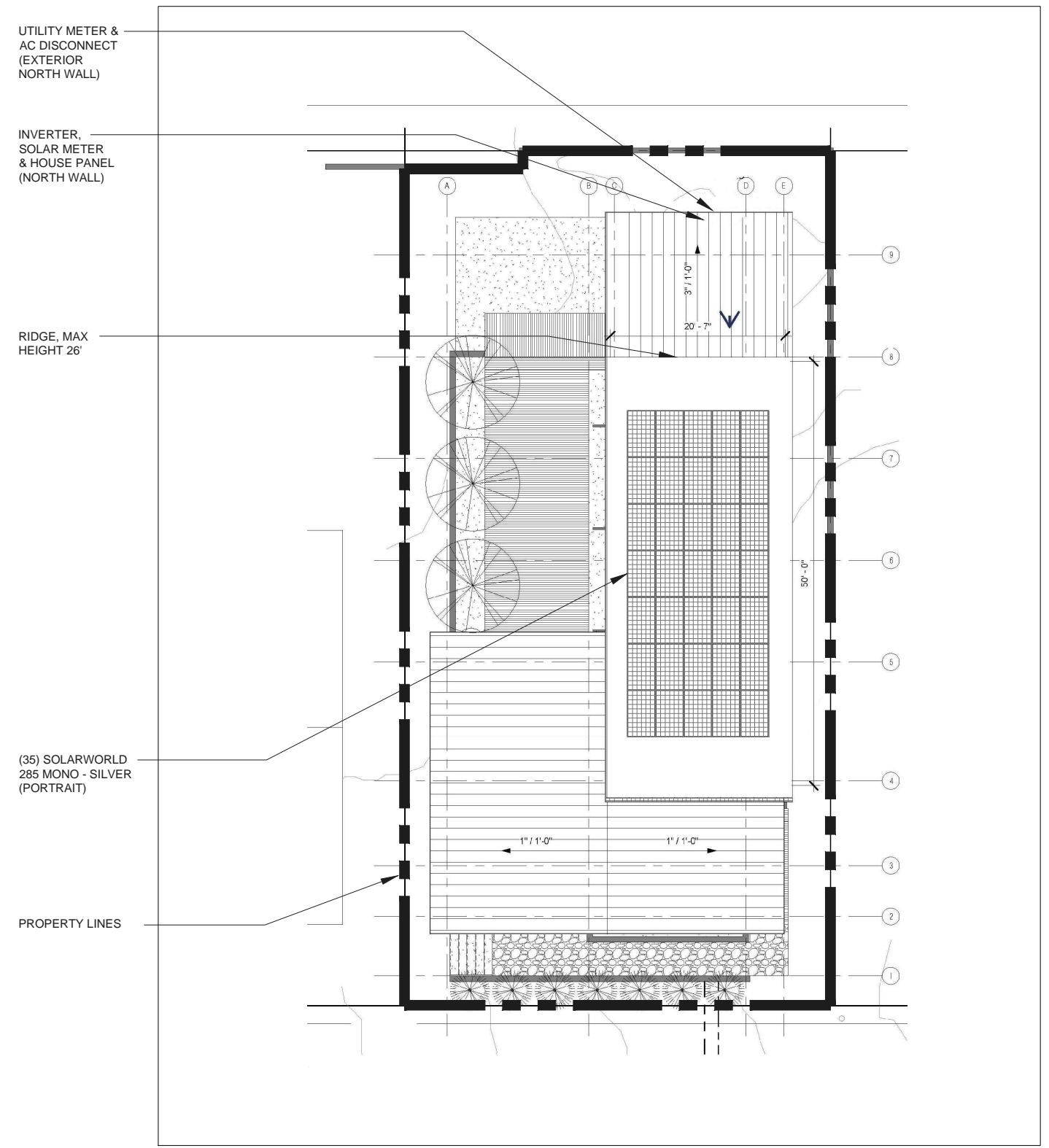
sheet title: BUILDING SECTIONS

sheet number: A6

PERMIT SET

CITY STAMP:

PANEL ORIENTATION: 180° ROOF PITCH: 10° UTILITY CO./ INCENTIVE: PGE - ETO TITLE: GENERAL SPECS; VICINITY & SITE PLANS



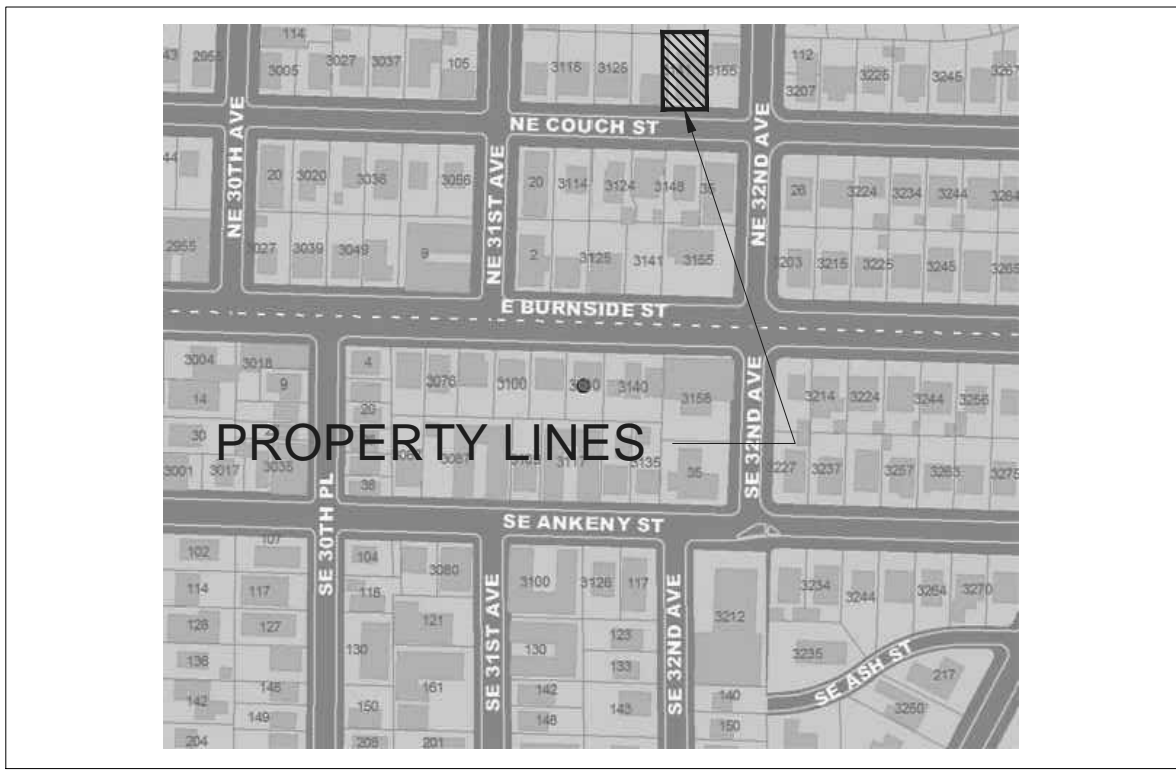
1 SITE PLAN
 SCALE : 1/16" = 1'- 0"
 NOTES:
 1. NONE.



NORTH

GENERAL SPECIFICATIONS	
ROOF SPECIFICATIONS: 10° PITCH STANDING METAL SEAM	
ARRAY ROOF COVERAGE 2,600 SQ.FT./ 630 SQ.FT.= 24%	
ARRAY TO BE INSTALLED ON NEW CONSTRUCTION	
SYSTEM SPECS: 9.98 KW SYSTEM (35) SOLARWORLD SW285 MONO - SILVER (1) FRONIUS PRIMO 8.2-1 @ 240V	
ARRAY SPECIFICATIONS: ARRAY TILT = 10° ARRAY ORIENTATION = 180°	
AVERAGE SOLAR RESOURCE: PSF = 99% TOF = 92% TSRF = 91%	

ISSUE FOR PERMIT (07-13-2015)		ISSUE FOR PERMIT (07-13-15)
DRAWING LIST		
SHEET #	TITLE	
PV1.0	GENERAL SPECIFICATIONS; VICINITY & SITE PLANS	●
PV2.0	ARRAY DESIGN - LAYOUT	
PV3.0	PHOTOVOLTAIC DETAILS & ONE LINE DIAGRAM	●
PV4.0	SITE ELEVATIONS & PANEL SPECIFICATIONS	
PV5.0	ELECTRICAL SPECIFICATIONS	●
PV6.0	STRUCTURAL SPECIFICATIONS	●



2 VICINITY MAP
 SCALE : NONE



www.sunlightsolar.com
541-322-1910

SUNLIGHT SOLAR ENERGY, INC.
50 SE SCOTT ST. BUILDING 13
BEND, OR 97702
CCB#: 158922 LRT#: 012

East Burnside Community
 Service Center
 3141 E. Burnside St.
 Portland, OR 97214

REVISIONS

1. ISSUE FOR PERMIT (07-13-15)

DATE DRAWN:
07-13-15

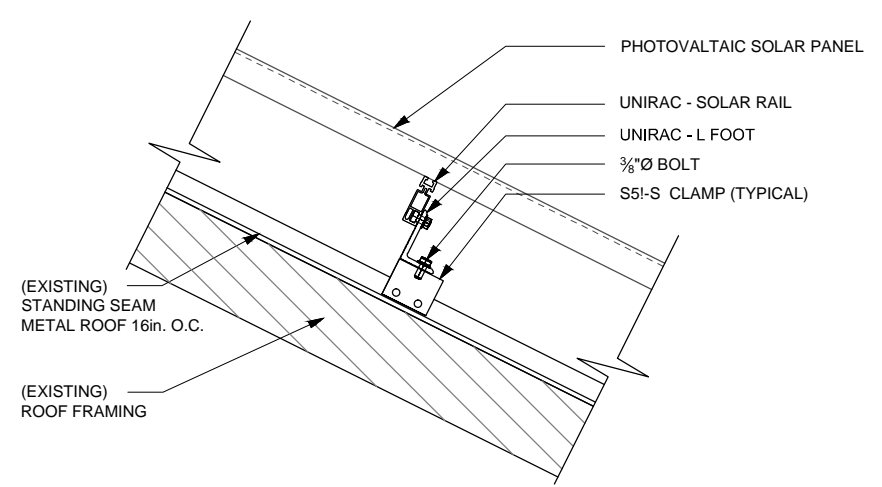
D.B./C.B.:
JTD

SHEET :
PV1.0

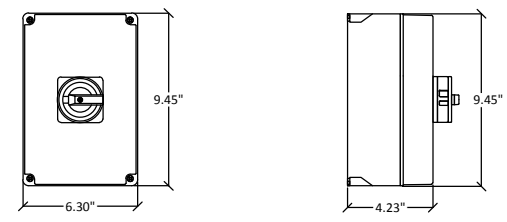
Customer Name (printed): _____ Customer Signature/Date: _____

PANEL ORIENTATION: 180° ROOF PITCH: 10° UTILITY CO./ INCENTIVE: PGE - ETO TITLE: PV DETAILS & ONE LINE DIAGRAM

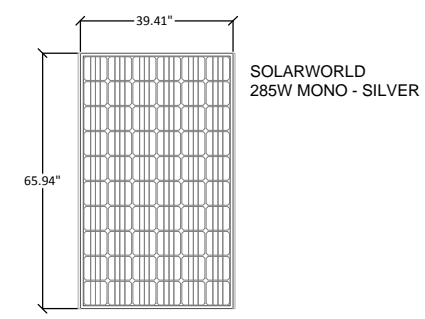
CITY STAMP:



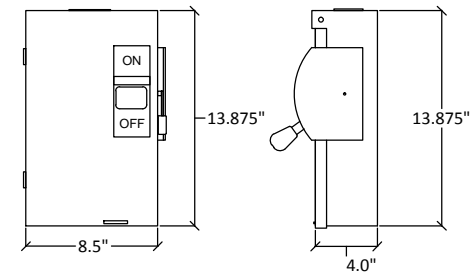
1 PV - ROOF MOUNTING ASSEMBLY DETAIL (S51-S CLAMPS)
SCALE : NONE



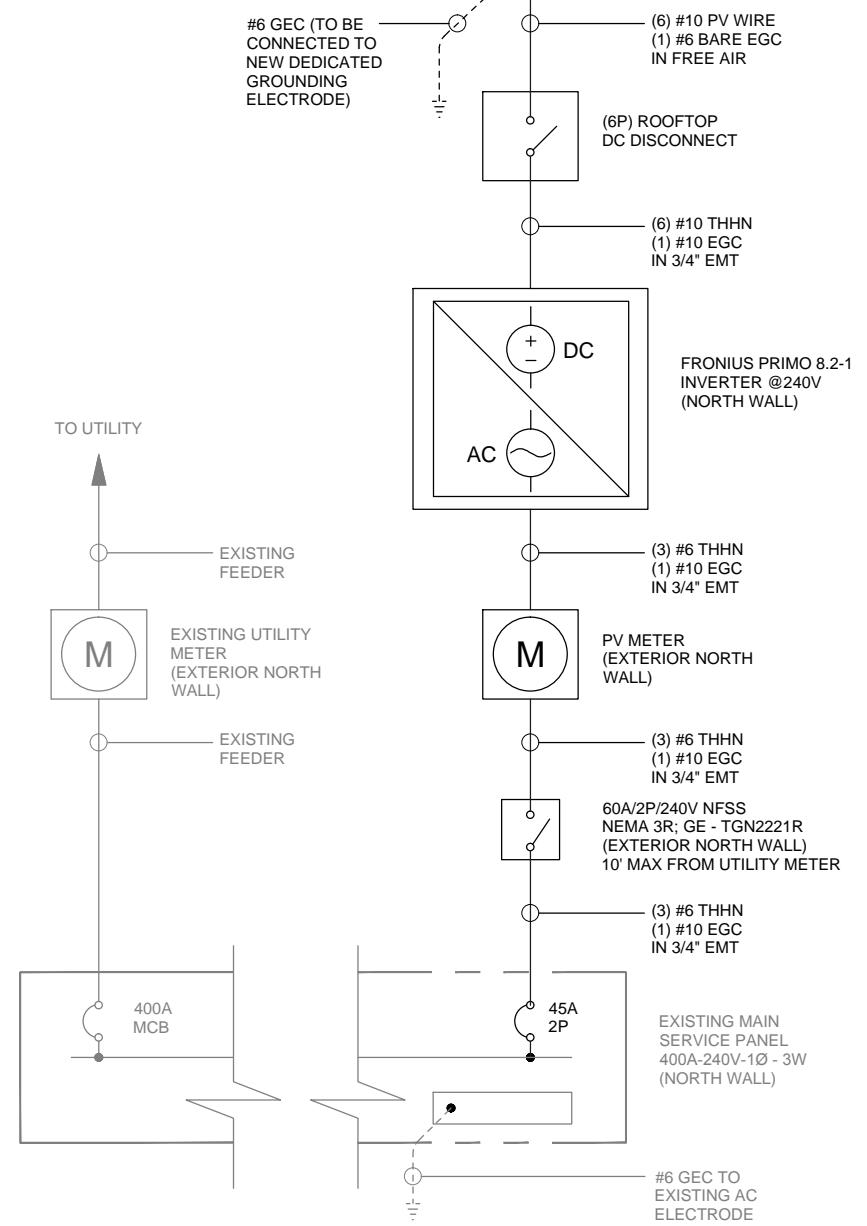
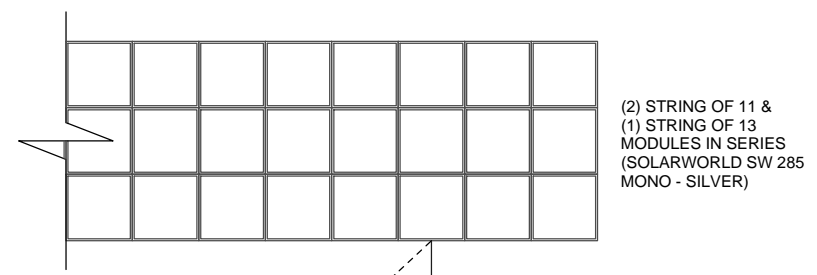
2 DC DISCONNECT ENCLOSURE DETAIL (IMO - SI16 PEL64R - 6)
SCALE : NONE



3 PV - MODULE DETAIL
SCALE : NONE



4 AC DISCONNECT ENCLOSURE DETAIL (GE - TGN221R)
SCALE : NONE



5 ONE LINE DIAGRAM
SCALE : NONE



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SUNLIGHT SOLAR ENERGY, INC.
50 SE SCOTT ST. BUILDING 13
BEND, OR 97702
CCB#: 158922 LRT#: 012

**East Burnside Community
Service Center**
3141 E. Burnside St.
Portland, OR 97214

REVISIONS

1. ISSUE FOR PERMIT (07-13-15)

DATE DRAWN:
07-13-15

D.B./C.B.:
JTD

SHEET :
PV3.0

Customer Name (printed): _____ . Customer Signature/Date: _____ .

CITY STAMP:

PANEL ORIENTATION: 180°

ROOF PITCH: 10°

UTILITY CO./ INCENTIVE: PGE - ETO

TITLE: ELECTRICAL SPECIFICATIONS

SITE TEMPRATURE INFORMATION		RATED VOLTAGE AT AVERAGE HIGH TEMPRATURE VOLTAGE ADJUSTMENT		ARRAY DESIGN	
CITY, ST	PORTLAND, OR (ASHRAE)	ASHREA 0.4% HIGH TEMP. IN (PORTLAND, OR):	35.4°C	# OF ARRAYS:	1
RECORD HIGH °C:	26.7°C	(AVG. HIGH TEMP. - (25°C (STC))	10.4°C	# OF STRINGS:	3
RECORD LOW °C:	- 6.4°C	35.4 - 25 = Δt		# OF PANELS PER STRING:	(2) @ 11 & (1) @ 13
AHREA 0.4% HIGH	35.4°C			INVERTER RATINGS	
SERVICE PANEL RATINGS		MOUNT HEIGHT ADJUSTER		INVERTER MANUFACTURER:	FRONIUS
BUS AMP RATING (A):	400A	ROOF MOUNT:	35°C	INVERTER MODEL:	PRIMO 8.2 - 1
SERVICE VOLTAGE (V):	240V			MAX DC VOLT RATING (V):	600V
MAIN AMP RATING (A):	400A			MAX POWER @ 40°C (W):	8,200W
PV OCPD AMP RATING (A):	45A			NOMINAL AC VOLTAGE (V):	240V
				MAX AC CURRENT (A):	34.2A
DC AMPACITY & WIRE SIZING - NEC TABLE 310.15		ADJUSTED Δt		PV MODULE RATINGS @ STC:	
DC AMPACITY (module Isc)x(1.56)		(Δt) + (MOUNT HEIGHT ADJUSTER)		MODULE MANUFACTURER:	SOLARWORLD
9.84 x 1.56 =	15.35A	10.4 + 35 =	45.4°C	MODULE MODEL #:	SW 285 MONO
WIRE SELECTION		Vmp @ AVERAGE HIGH TEMPRATURE		OPERATING CURRENT (Imp):	9.20A
SIZE AND TYPE:	#10 THHN	[1- (ADJUSTED Δt x VMP TEMP COEFF)] x (VMP x # OF PANELS PER STRING)		SHORT-CIRCUIT CURRENT (Isc):	9.84A
RATED AMPACITY:	30A	[1- (45.4 x 0.0041)] x (31.3 x 11) =	280.21 V	OPERATING VOLTAGE (Vmp):	31.30V
				OPEN-CIRCUIT VOLTAGE (Voc):	39.70V
PHOTOVOLTAIC OUTPUT CIRCUIT (DC) - CONDUIT SIZING		VOLTAGE DROP - ARRAY TO INVERTER		MAXIMUM POWER (W):	285.00W
NUMBER OF (#10 THHN) IN CONDUIT:	6	WIRE INFORMATION		Vmp TEMP COEFF:	-0.41%/°C
WIRE AREA		WIRE LENGTH:	50 ft	Voc TEMP COEFF:	-0.30%/°C
(6) #10THHN + (1) #10 EGC		WIRE TYPE:	#10 THHN	MAX FUSE RATING (A):	25A
6 x 0.0211 + 0.0211 =	0.148 sq.in.	RATED WIRE RESISTANCE (NEC TABLE 8 CH. 9) =	1.24 Ω/kFT		
CONDUIT SELECTION		ADJUSTED VOLTAGE DROP		690.53 P.V. POWER SOURCE SIGNAGE ON DC DISCONNECT	
SIZE AND TYPE:	3/4" EMT	(.2) x (WIRE LENGTH) x (MODULE IMP) x (RATED WIRE RESISTANCE) / (VMP @ AVG. HIGH TEMP)		RATED CURRENT (A)	
PERMITTED AREA FOR OVER 2 WIRES:	0.213 sq.in.	0.2 x 50 x 9.20 x 1.24 Ω/kFT / 280.21 =	0.41% Vdrop	(Imp)x(# STRINGS)	
AREA COMPARISON				9.20 x 3 =	27.6A
WIRE AREA vs. PERMITTED AREA FOR OVER 2 WIRES:	0.148 < 0.213				
AC AMPACITY & WIRE SIZING - NEC TABLE 310.15		VOLTAGE DROP - INVERTER THRU AC DISCONNECT & METER TO HOUSE PANEL		RATED VOLTAGE (V)	
AC AMPACITY (INVERTER MAX AC CURRENT) x (1.25)		WIRE INFORMATION		(Vmp)x(# OF PANELS PER STRING)	
15 x 1.25 =	42.75 A	WIRE LENGTH:	20 ft	31.3 x 13 =	406.9V
WIRE SELECTION		WIRE TYPE:	#6 THHN		
SIZE AND TYPE:	#6 THHN	RATED WIRE RESISTANCE (NEC table 8 ch. 9) =	0.491 Ω/kFT	MAX SYSTEM VOLTAGE (V)	
RATED AMPACITY:	55A	ADJUSTED VOLTAGE DROP		25-(LOWEST LOCAL TEMP °C) = ΔT	
AMPACITY COMPARISON		(.2) x (WIRE LENGTH) x (INVERTER MAX AC CURRENT) x (RATED WIRE RESISTANCE) / (AC VOLT.)		25 - (- 6.4) =	31.4° C
AC AMPACITY vs. RATED WIRE AMPACITY:	42.75 < 55	0.2 x 20 x 34.2 x 0.491 Ω/kFT / 240 =	0.28% Vdrop	[1+(ΔT x TEMP. COEFF)] x (Voc X # OF PANELS IN SERIES)	
				[1+(31.4 x 0.0030)] x (39.7 x 13) =	564.72V
INVERTER OUTPUT CIRCUIT (AC) - CONDUIT SIZING				MAX CIRCUIT CURRENT (A)	
NUMBER OF (#6 THHN) IN CONDUIT:	3			(Isc) x (# OF STRINGS) x (1.25)	
WIRE AREA				9.84 x 3 x 1.25 =	36.90A
(3) #6 THHN + (1) #10 EGC					
3 x 0.0507 + 0.0211 =	0.173 sq.in.				
CONDUIT SELECTION					
SIZE AND TYPE:	3/4" EMT				
PERMITTED AREA FOR OVER 2 WIRES:	0.213 sq.in.				
AREA COMPARISON					
WIRE AREA vs. PERMITTED AREA FOR OVER 2 WIRES:	0.173 < 0.213				



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REVISIONS

1. ISSUE FOR PERMIT (07-13-15)

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D.B./C.B.:
JTD

SHEET :

PV5.0

Customer Name (printed): _____ Customer Signature/Date: _____

CITY STAMP:

PANEL ORIENTATION: 180°

ROOF PITCH: 10°

UTILITY CO./ INCENTIVE: PGE - ETO

TITLE: STRUCTURAL SPECIFICATIONS

EXPOSURE CATEGORY – B 50 LB/FT ² WIND PRESSURE UPLIFT	PANEL HOLD DOWN/DESIGN WIND PRESSURE SOLAR MOUNT	PANEL DATA
<p>EXPOSURE B: URBAN OR SUBURBAN LIVING AREAS, WOODED AREAS, OR OTHER TERRAIN WITH NUMEROUS CLOSELY SPACED OBSTRUCTIONS HAVING THE SIZE OF A SINGLE-FAMILY DWELLING OR LARGER.</p> <p>EXPOSURE C: OPEN TERRAIN WITH SCATTERED OBSTRUCTIONS HAVING HEIGHTS GENERALLY LESS THAN 30 FT. USE CATEGORY C FOR ALL CASES WHERE B AND C DON'T APPLY.</p> <p>EXPOSURE D: FLAT, UNOBSTRUCTED AREAS AND OPEN WATER SURFACES OUTSIDE HURRICANE PRONE REGIONS. THIS CATEGORY INCLUDES MUD FLATS, SALT FLATS, AND UNBROKEN ICE.</p> <p>INTERNATIONAL BUILDING CODE, SECTION 1609.4.2 AND 1609.4.3</p>	<p><u>UPLIFT</u></p>	<p>35 (SW 285 MONO - SILVER) 65.94" X 39.41" 18.0 FT² PER PANEL MODULE WEIGHT = 46.7 LBS.</p>
	<p>18.0 FT² PER PANEL x (35) PANELS = (630) FT² ARRAY 50 LB/FT² x (630)FT² = (31,500) LB WIND UPLIFT POTENTIAL</p>	
	<p><u>CLAMP</u></p>	<p><u>DISTRIBUTED DEAD LOAD</u></p>
	<p>(1) S5! - S = 564 LB/IN WITHDRAWN RESISTANCE W/ 150 INCH-LBS SCREW TENSION ON 22 GAUGE METAL STANDING SEAM.</p>	<p>MODULE WEIGHT = 2.6 LBS./FT² MOUNT SYSTEM WEIGHT = 0.6 LBS./FT² DISTRIBUTED WEIGHT = 3.20 LBS/FT²</p>
<p><u>DOWN/CLAMP</u></p>		
<p>1 CLAMP PER L-FOOT = 564 LBS HOLD DOWN EACH (31,500) LBS WIND UPLIFT / 564 LBS HOLD DOWN PER STAND = (56) STANDS FOR THIS RACKING SYSTEM SUNLIGHT SOLAR WILL USE GREATER THAN (56) STANDS FOR THIS RACKING SYSTEM.</p>		



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541-322-1910

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07-13-15

D.B./C.B.:

JTD

SHEET :

PV6.0

Customer Name (printed): _____ . Customer Signature/Date: _____ .



Kerns Neighborhood Association
P.O. Box 13350
Portland, OR 97213-0679
www.kernspdx.org

December 17, 2013

City of Portland Commissioner Amanda Fritz
Commissioner-in-Charge - Bureau of Development Services
221 SW 4th Avenue, Room 220
Portland, Oregon 97204

Director Paul Scarlett
Bureau of Development Services
1900 SW 4th Ave
Portland, Oregon 97201

**Re: Environmental Community Service Center
3125 E Burnside Conditional Use Application**

Dear Commissioner Fritz and Director Scarlett,

We write to support the application by the Crag Law Center seeking a fee waiver and permission to develop a community service use as a conditional use on a vacant 5,000 square foot lot zoned R2.5. The lot is between established commercial uses at 3125 East Burnside Street and the Laurelhurst Market at 3155 East Burnside Street.

On November 20, 2013, Ralph Bloemers from the Crag Law Center presented the Kerns Neighborhood Association Board with conceptual plans to build an environmental community center that would house the Crag Law Center. After hearing the details of proposal and asking questions, the Kerns Neighborhood Association Board unanimously passed a motion to support the proposal. Specifically, the Kerns Neighborhood Association Board supports the proposal by the Crag Law Center to occupy the proposed building as a community service organization, which is allowed as a conditional use on the R2.5 zone. The Board also supports the rezone of the property to Neighborhood Commercial 2 (CN2) as part of the City of Portland Comprehensive Plan amendments that are scheduled to occur in 2014. Finally, the Board supports the grant of a fee waiver for all fees that may apply for the development of this site as proposed to the Kerns Neighborhood Association Board.

Through this presentation, our Board learned that the Crag Law Center is a community service organization that represents local citizens and conservation groups in Portland and throughout Oregon for free or as close to free as possible. We understand that Crag was founded in 2001 and has worked with neighborhood associations to ensure livable communities in Portland, enforce laws designed to ensure clean water and air, and advocate for environmental justice for low-income communities. Crag provides

counseling service and educates the next generation of public interest advocates through internships, externships, and fellowships on an ongoing basis.

We were provided with an overview of the concept for the development of the lot. The concept would be to build a 2,000 to 2,500 square foot building to house the Crag Law Center and a separate accessory dwelling unit on a 400-500 square foot footprint to the north of the larger building which may be rented out to interns, externs, and legal fellows working with the Crag Law Center at less than market rates.

Mr. Bloemers told our Board that the plan for the community service center building would be a predominately single-story structure, with some portion of the building rising to two stories. Neighbors suggested screening the development with existing and new vegetation, and Mr. Bloemers informed us that they would maintain 5 foot setbacks from the east property line, allowing for the building to screen the large retaining wall on the property to the east and for the preservation of an open courtyard and a large cherry tree. The underlying R2.5 zoning provides for 5-foot setbacks for residential uses, and an adjustment would be requested to allow for the same setbacks for this community service use. During our discussion, Mr. Bloemers shared the plans for bicycle parking stalls onsite and adjacent to the building, as well as the planting of additional vegetation along the north retaining wall and the adjacent wall to provide a visual break for both the occupants and for neighbors.

Given the value of the counseling services that the Crag Law Center provides to individual activists and public interest groups in our community, as well as their commitment to be a good neighbor to the established businesses and residents nearby, the Kerns Neighborhood Association Board wholeheartedly supports this project as well as the grant of a fee waiver for all fees that may apply. We support this proposal because it is consistent with furthering the goals and policies of the City of Portland to ensure livable communities and to foster leaders on environmental and sustainability issues.

If you have any questions, please do not hesitate to contact me directly. Thank you for your kind attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Melissa Haggerty". The signature is fluid and cursive, with a long horizontal stroke at the end.

Melissa Haggerty
Kerns Neighborhood Association Secretary
Phone: (206) 354-0107
Email: mmwillia@gmail.com

cc: Ralph Bloemers: the Crag Law Center
Steve Russell: Land Use Chair, Kerns Neighborhood Association
Angela Kirkman: Chair of Kerns Neighborhood Association



CITY OF
PORTLAND, OREGON
 BUREAU OF DEVELOPMENT SERVICES
 1900 SW 4th Ave., Suite 5000
 Portland, OR 97201



STATUS CHECK	Residential 1 & 2 Family Permit	Application # 16-124579-000-00-RS
Status Date: April 29, 2016		IVR Number: 3773077

APPLICANT	RALPH BLOEMERS	Phone: (503) 504-2432
PROPERTY OWNER	EAST BURNSIDE COMMUNITY & SERVICE CENTER LLC	Phone:
CONTRACTOR	BROCKER CONSTRUCTION CO LLC *BUDDY BROCKER*	Phone:

PROJECT INFORMATION		Description of Work: NEW SINGLE FAMILY RESIDENCE/TWO STORY/ATTACHED GARAGE/FLAT LOT/COMPLEX/9.9KW SOLAR PV ARRAY ON ROOF ***ELECTRICAL MECHANICAL AND	
Street Address	3141 E BURNSIDE ST		
Occupancy Group	Construction Type	Sub Type	Work Proposed
R-3, U, U	V-B V-B V-B	Single Family Dwelling	New Construction

This report shows those reviews which have been assigned as of April 29, 2016 at 12:45 pm. Technical reviews may trigger additional review assignments.

Review Type/Process	Mandatory	Status	Action Date	Reviewer	Phone
2nd Screen App Set-Up	X	Approved	2/22/16	Gummer, Kevin	503-823-1108
P & Z - Property Check	X	Approved	2/22/16	Gummer, Kevin	503-823-1108
Life Safety - Application Check	X	Approved	2/22/16	Gummer, Kevin	503-823-1108
Intake - DSC	X	Intake	2/22/16	Gummer, Kevin	503-823-1108
Assign Plan and File Location		Open		DOCUMENT SERVICES	503-823-7357
Assign Reviews - RS		Open		DOCUMENT SERVICES	503-823-7357
Corrections Received - RS		Closed	4/1/16	Riley, Christian	503-823-7139
Corrections Received - RS		Closed	4/11/16	Riley, Christian	503-823-7139
Corrections Received - RS		Closed	4/11/16	Riley, Christian	503-823-7139
Corrections Received - RS		Closed	4/29/16	Kuhnhausen, David	503-823-7379
Plans checked out to Applicant		Open			
Point of Contact		Open			
Send to Scanning- RS		Open		TRIM Scanning Station	
Assign Address	X	Not Req'd	2/29/16	ADDRESSING	503-823-7379
Planning and Zoning Review	X	Approved	4/12/16	Boren-King, Tammy	503-823-5765
Erosion Control Plan Review	X	Approved	2/25/16	Wells, Kevin	503-823-5618
Life Safety Review	X	Approved	3/22/16	Steinmetz, Yvonne	503-823-7208
Structural Review	X	Corr. Rec'd	4/29/16	Steinmetz, Yvonne	503-823-7208
Deferred Submittals		Open			
Struct Spec. Insp. Form Req'd	X	Approved	4/29/16	SPECIAL INSPECTIONS	503-823-7543
BES Environmental Review	X	Approved	4/13/16	Tan, Yen	503-823-4863
Transportation SDC Review	X	Approved	2/29/16	Dister, Dana	503-823-3467
Trans - Street Systems Review	X	Approved	3/15/16	Castillo, Fernando	503-823-5579
Street Systems - Assign Reviews		Closed	3/15/16	Castillo, Fernando	503-823-5579
Water Available	X	Approved	3/31/16	Curtis, Ward	503-823-6988
Water SDC Payment Plan		Open			
Parks SDC Review	X	Approved	2/24/16	PARKS SDC	
Urban Forestry Review	X	Approved	4/4/16	Welliver, Joseph	503-823-8733
Send Letter of intent to expire		Open		PRE-ISSUANCE CO;SD;ZP	503-823-7357

APRIL 4, 2016

NOTICE OF PROPOSED ZONING CHANGES THAT MAY AFFECT THE PERMISSIBLE USES OF YOUR PROPERTY AND OTHER PROPERTIES

What does this mean for me?

The City is proposing a zoning change for all the commercially zoned properties outside the Central City.

You received this notice because a new Commercial/Mixed Use Zone is proposed for your property. This may affect the permissible uses of your property, as well as other properties with the same zone. This proposal would also change the shape and size of new buildings that could be built on your property — if you choose to redevelop. These changes may affect the value of your property.

State law requires periodic plan updates. The City is completing Portland's Comprehensive Plan as a part of the state's periodic review.

One of the properties that may be affected is your property at: 3141 E BURNSIDE ST

State ID #: 1N1E36CA 22300

BASE ZONE

The current base zone(s) for this property is (are): R2.5

The proposed base zone(s) for this property is (are): CM1

OVERLAY ZONE

The current overlay zone(s) for this property is (are): No existing overlays

The proposed overlay zone change(s): No proposed overlay changes

PLAN DISTRICT

The existing plan district for this property is: No existing plan district

The proposed plan district change(s): No proposed plan district changes

Inside you will find ...

- Information for property owners.
- How to learn more, including websites, a schedule of drop-in hours and information in Spanish.
- Planning and Sustainability Commission hearing information and how to testify.
- An insert explaining proposed Commercial/Mixed Use Zones and how they differ from what's in place today.

Have questions?

- Get answers from our Helpline.
Call 503-823-0195.
- Find more information, including maps and frequently asked questions at:
www.portlandoregon.gov/bps/muzwelcome



Why are these changes proposed?

The City of Portland is revising the Mixed Use/Commercial zones to make the zoning rules work better for everybody involved.

City planners have heard for a long time that rules for building should be easier to understand, new mixed use/commercial buildings should fit in better with the neighborhood, and the Zoning Code should more effectively encourage new buildings to have things that the community values, like affordable housing.

This zoning change for mixed use and commercial areas will help manage growth to create more vibrant places, increase housing choices, and enable businesses to thrive and meet the daily needs of nearby residents.

Why now?

The Mixed Use Zones Project is part of Portland's Comprehensive Plan Update. State law requires periodic updates to the Comprehensive Plan.

The Comprehensive Plan is a 20-year plan to shape the growth and development of the city. It includes policies, infrastructure projects and a land use map. You may have received other notices about the Comprehensive Plan Update over the past year. The proposed zones will implement the new Comprehensive Plan.

How were these proposed new rules developed?

This proposal to revise zoning for mixed use properties was developed by City planners based on feedback from a project advisory committee. The project team hosted neighborhood walks to learn what people think about new development in their communities. Background reports, meeting notes, project newsletters and other reports are available on the project website. Open houses, information sessions and advisory committee meetings were advertised and open to the public.

Will the zone change require me to redevelop or sell my property?

No, as a property owner it is always your choice to sell or redevelop.

When will zoning changes take effect?

Early 2018 is the earliest that these zoning changes could take effect. The Planning and Sustainability Commission will make a recommendation to City Council in 2016. Then City Council will adopt them by ordinance, and the Oregon Land Conservation and Development Commission will acknowledge them.

Interpreters available

This is a public notice about proposed land use changes that may affect your property. For more information, call 503-823-0195 and ask for an interpreter.

Este es un anuncio público sobre los cambios al aprovechamiento del terreno que puedan afectar a su propiedad. Para obtener más información, comuníquese con el 503-823-0195 y solicite un intérprete.

这是一则关于可能影响您的财产的拟定土地使用变更的公共通知。如需更多信息，请致电 503-823-0195 并要求提供一名译员。

Đây là một thông báo công khai về các thay đổi trong việc sử dụng đất được đề xuất mà có thể gây tác động đến tài sản của quý vị. Để biết thêm thông tin, vui lòng gọi điện thoại đến số 503-823-0195 và yêu cầu một thông dịch viên ngôn ngữ.

Это публичное извещение о предлагаемых изменениях порядка землепользования, которые могут повлиять на принадлежащую вам собственность. Для того, чтобы получить более подробные сведения, позвоните по тел. 503-823-0195 и попросите соединить вас с устным переводчиком.

Kani waa ogaysiis dadweyne oo ku saabsan isticmaal dhuleed oo la soo jeediyayoo laga yaabo in uu raad ku yeesho hantidaada. Wixii macluumaad dheeraad ah, wac 503-823-0195 waxaanad codsataa turjubaan.

このお知らせは、提案されている土地利用の変更を公に通知するものです。この変更は、あなたの所有地に影響を及ぼす可能性があります。詳細については、503-823-0195 までお電話のうえ、通訳をご要請ください。

ນີ້ແມ່ນແຈ້ງການສາທາລະນະກ່ຽວກັບການປ່ຽນແປງໃນການນຳໃຊ້ທີ່ດິນທີ່ສະເໜີໄວ້ ຊຶ່ງອາດມີຜົນກະທົບຕໍ່ຊັບສິນຂອງທ່ານ. ສຳລັບຂໍ້ມູນເພີ່ມເຕີມ, ໂທ 503-823-0195 ແລະຂໍເອົານາຍພາສາມາຊ່ວຍແປຕື່ມ.

هذا إشعار عام بشأن تغييرات مقترحة في استخدام الأراضي قد يكون لها تأثير على ممتلكك العقاري. للحصول على مزيد من المعلومات، يجب الاتصال برقم الهاتف 503-823-0195 وطلب مترجم شفهي.

Prezenta este o notificare publică referitoare la propuse schimbări ale regulilor de folosire a terenurilor care vă pot afecta proprietatea. Pentru informații suplimentare, sunați la 503-823-0195 și solicitați un traducător.

Це публічне повідомлення про запропоновані зміни у використанні землі, які можуть вплинути на вашу нерухомість. Щоб отримати додаткову інформацію, зателефонуйте на номер 503-823-0195 і попросіть поговорити з перекладачем.

How can I learn more?



ONLINE

All Multnomah County libraries have public access computers.

1. Visit the **Welcome Page** to find all relevant information and maps for recipients of this notice: www.portlandoregon.gov/bps/muzwelcome
2. View the **interactive Map App** at www.portlandmaps.com/bps/mapapp on any computer, tablet or smart phone, and click on the **Mixed Use Zones proposal**. Type the property address to see proposed Comprehensive Plan map designations and zone changes that may affect your property.
3. Go online to the **project website** at www.portlandoregon.gov/bps/mixeduse to view the proposed Zoning Map, including a series of frequently asked questions.



IN PERSON

4. Drop in to chat with **City staff at a location near you** (staff will answer your questions one-on-one).
 - **Drop-in hours:** Check online at www.portlandoregon.gov/bps/58191 or call 503-823-0195 for a schedule.

Tuesday, April 12, 2016, 4:30 – 7:00 p.m.	Drop-in Hours 1: 1900 SW 4th Avenue, Suite 2500B
Thursday, April 21, 2016, 4:30 – 6:30 p.m.	Drop-in Hours 2: NE Coalition of Neighbors Offices, 4815 NE 7th Avenue
Tuesday, April 26, 2016, 5:30 – 7:30 p.m.	Drop-in Hours 3: Midland Library, 805 SE 122nd Avenue
Monday, April 25, 2016, 4:00 – 6:00 p.m.	Spanish-language Office Hours: Gregory Heights Library, 7921 NE Sandy Boulevard.

- **¿Tiene preguntas sobre este aviso?** Un representante encargado de planificación con la Ciudad de Portland que habla español estara en la Biblioteca Gregory Heights (7921 NE Sandy Blvd), el día Lunes 25 de abril de 2016, desde las 4:00 p.m. hasta las 6:00 p.m. para responder a sus preguntas acerca de esta correspondencia. Traiga sus preguntas sobre el aviso relacionado a cambios de zonificación propuestos. Si no puede venir durante este horario, nos complacerá ayudarle por teléfono. Comuníquese con el 503-823-0195 y solicite un intérprete.



PHONE AND EMAIL

5. Ask **City staff a question**. We are happy to help. Call 503-823-0195 or email us at mixedusezones@portlandoregon.gov.

How can I provide feedback to decision-makers?

You may testify about proposed changes to the Planning and Sustainability Commission (PSC) in the following ways:

Testify in person at the PSC public hearing.

You may speak for two minutes to the Commission, and your testimony will be added to the public record.

Tuesday, May 10, 2016 at 12:30 p.m.

1900 SW 4th Avenue, Room 2500, Portland, OR

To confirm the date and time, check the PSC calendar at www.portlandoregon.gov/bps/35452

If you need special accommodation, translation or interpretation, please call 503-823-7700 by May 3, 2016.

Testify in writing between now and May 10, 2016.

You must provide your full name and mailing address.

- **Email:** psc@portlandoregon.gov with subject line "PSC Mixed Use Zones Testimony"
- **U.S. Mail:** Portland Planning and Sustainability Commission, Mixed Use Zones Testimony, 1900 SW 4th Ave., Suite 7100, Portland OR 97201
- **Map App:** www.portlandmaps.com/bps/mapapp, click on the Mixed Use Zones proposal and use the comment tab to provide your testimony



City of Portland, Oregon
Bureau of Planning and Sustainability
1900 SW 4th Avenue, Suite 7100
Portland, Oregon 97201-5380 P514

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Notice of Comprehensive Plan Zoning Changes

RETURN SERVICE REQUESTED

EAST BURNSIDE COMMUNITY SERVICE CENTER
LLC % BLOEMERS RALPH
6809 SE ASH ST
PORTLAND OR 97215

118 BRAMNP1 97215



The Bureau of Planning and Sustainability is committed to providing equal access to information and hearings. If you need special accommodation, translation or interpretation, please call 503-823-7700 at least five business days before hearing, the City's TTY at 503-823-6868, or the Oregon Relay Service at 711.

**NOTICE OF PROPOSED ZONING CHANGES
THAT MAY AFFECT THE PERMISSIBLE USES OF
YOUR PROPERTY AND OTHER PROPERTIES**
You will receive a notice for each property that you own
that may be affected by a proposed zoning change.
Therefore, if you own multiple properties,
you may receive more than one notice.

Brocker Construction Company LLC
1119 NE 95th Street Unit D
Vancouver, Washington 98665



May 2, 2016

Burnside Community Service Center LLC
6809 SE Ash Street
Portland, Oregon 97215

Mr. Bloemers,

As of the above date, Brocker Construction has employed Flying H Excavation to proceed immediately, once the permits are obtained. We had a pre-construction meeting on site April 25, 2016.

Furthermore, we have employed DeArmond Construction to install all foundations and retaining walls. Bruner Plumbing has been hired to install all underground items to complete our site improvement phase.

We are ready to begin.

A handwritten signature in blue ink, appearing to read "C. Brocker".

Thank you

